



Development Permit

Permit Number: DP PL2025-10077

Property Owner
Property Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot B District Lot 115 Similkameen Division Yale District Plan KAP52996
 - Civic: 170 Warren Avenue W
 - PID: 018-907-881
3. This permit has been issued in accordance with Section 489 of the *Local Government Act*, to permit the construction of a 6-storey addition to an existing apartment building, as shown in the plans attached in Schedule 'A', and to vary the following sections of Zoning Bylaw No. 2024-22:
 - a. Section 4.9 to allow balconies to project 0.5 m into an interior side setback; and
 - b. Section 5.2 to remove the landscape buffer requirement.

General Conditions

4. In accordance with Section 501(2) of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
5. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
6. If this permit has not been issued within one year of approval, the permit shall be deemed to have been refused, and the file will be closed.
7. **This permit is not a riparian or environmental development permit. In order to proceed with this development, the holder of this permit must hold a valid environmental development permit issued by the Planning Department.**
8. **This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
9. This permit does not constitute any other municipal, provincial or federal approval. The holder of this

permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.

10. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

Authorized by City Council, the ____ day of _____, 2026.

Angela Collison
Corporate Officer

NUMBER	DRAWING	SCALE
ARCH.:		
A1.1	COVER PAGE + SITE PLAN	AS NOTED
A2.1	BASEMENT + 1ST FLOOR PLAN	1:192
A2.2	2ND + 3RD FLOOR PLAN	1:192
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M1.0	CIVIL SITE PLAN	AS NOTED
ELEC.:		
E1	SITE PLAN	AS NOTED
E2	BASEMENT	AS NOTED
E3	SCHEDULES & DETAILS	AS NOTED
E4	SPECIFICATIONS	AS NOTED

BUILDING & ZONING INFORMATION

Civic Address:	170 Warren Street, Penticton, BC	
Legal Description:	Lot B District Lot 115 Similkameen Division Yale District Plan KAP52996	
PID:	018-907-881	
Zoning:	High Density Residential (RM4)	
Proposed Use:	Congregate Housing	
Parcel Size:	1.381 Acres (5,588.7 m ²)	
Building Area:	2,054m ²	
Unit Count:	101 units (77 existing + 24 proposed)	
	Required	Proposed
Adaptable Units:	5 (20%)	6 (25%) (# of adaptable units applied to proposed only)
Maximum Height:	27 m	21 m
Maximum Parcel Coverage:	75%	43.4%
Minimum Setbacks:		
i) Front parcel line (North):	3.0 m	12.1 m
ii) Interior side parcel line (East):	4.5 m	4.6 m
iii) Exterior side parcel line (West):	4.5 m	10.7 m
iv) Rear parcel line (South):	6.0 m	6.5 m
Max Density:	2.0 FAR	1.5 FAR (8,530 m ² NFA)
Amenity Space:	2,020 m²	2,399 m²
i) indoor (max 20%):	404 m ²	528m ²
ii) outdoor:	1,616 m ²	1,871m ²
Landscaping:	Existing	(disturbed areas to be re-naturalized as outlined in riparian assessment report)
Hard Surfaces:	85% max	70%
Parking:	0 stalls	52 stalls (No vehicle parking spaces required for dwelling units within transit-oriented areas as per city of Penticton Zoning Bylaw No. 2024-22, section 4.16)
class 1 bike parking:	52 stalls	52 stalls (0.5 x 103units = 51.5 stalls)
class 2 bike parking:	10 stalls	10 stalls (0.1 x 103units = 10.3 stalls)

Client:
PARC Retirement Living
Russell Hobbs
778-998-3711

Consultants:
GREYBACK
Mike Symonds
778-476-8007

Sealed:



Project No.: **2413**
Scale: **1:192**
Drawn: **JA**

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Project:
PARC Athens Creek
170 Warren Ave West
Penticton, BC

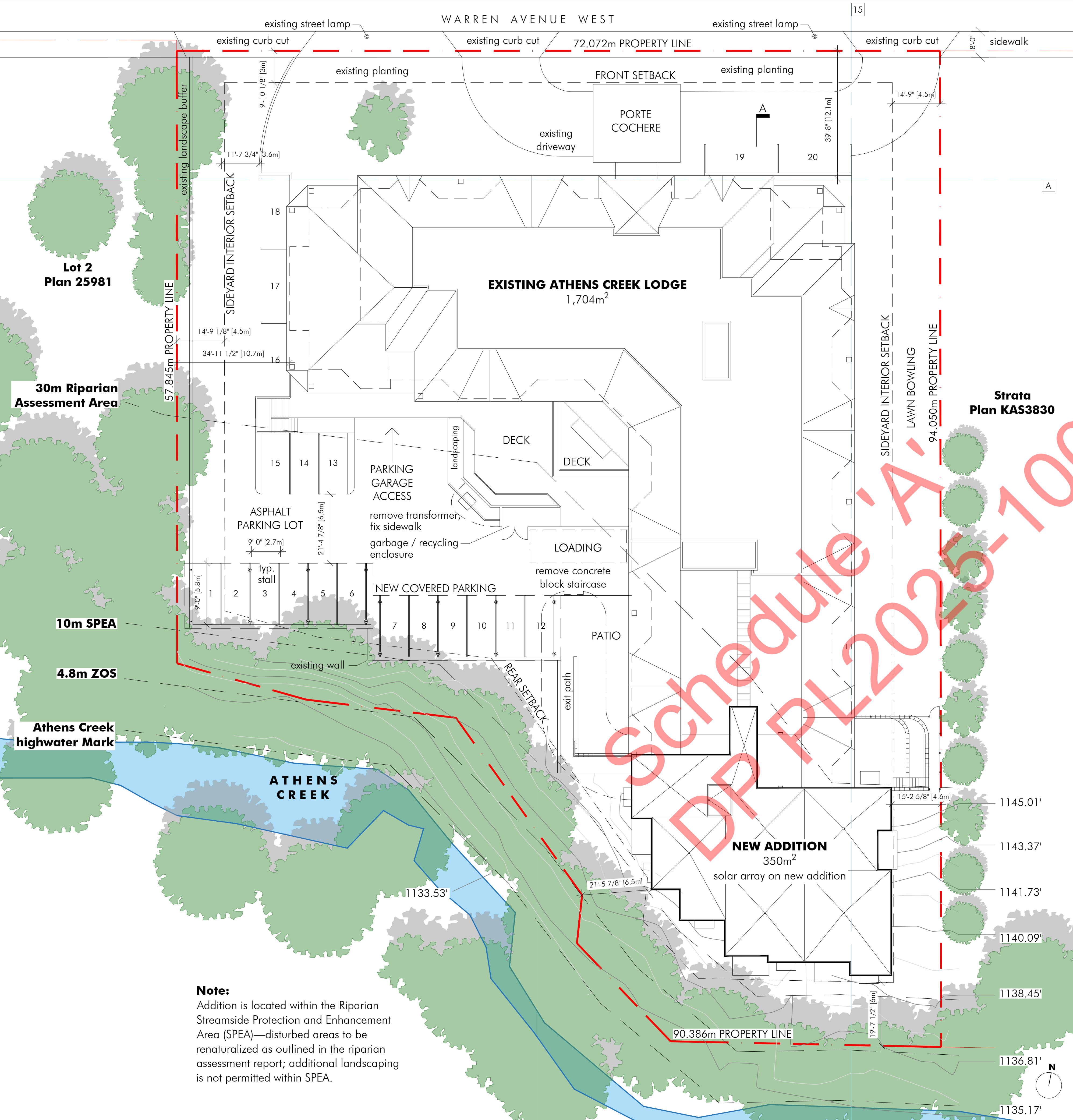
Drawing Title:
Site Plan

Drawing No.:

RENDERING



PARC PENTICTON A1.1



Note:
Addition is located within the Riparian Streamside Protection and Enhancement Area (SPEA)—disturbed areas to be re-naturalized as outlined in the riparian assessment report; additional landscaping is not permitted within SPEA.

LEGEND:

- SCOPE OF WORK
- TO REMAIN EXISTING

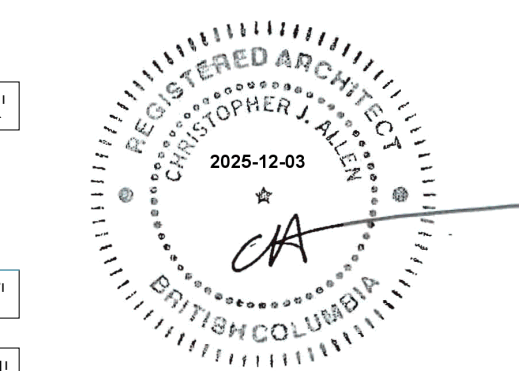
Issued:	
Progress Set	Jun. 03, 2025
Building Exterior	Jun. 10, 2025
Building Backgrounds	Sept. 11, 2025
Development Permit	Oct. 16, 2025

Revisions:	
Revision 1	Dec. 03, 2025

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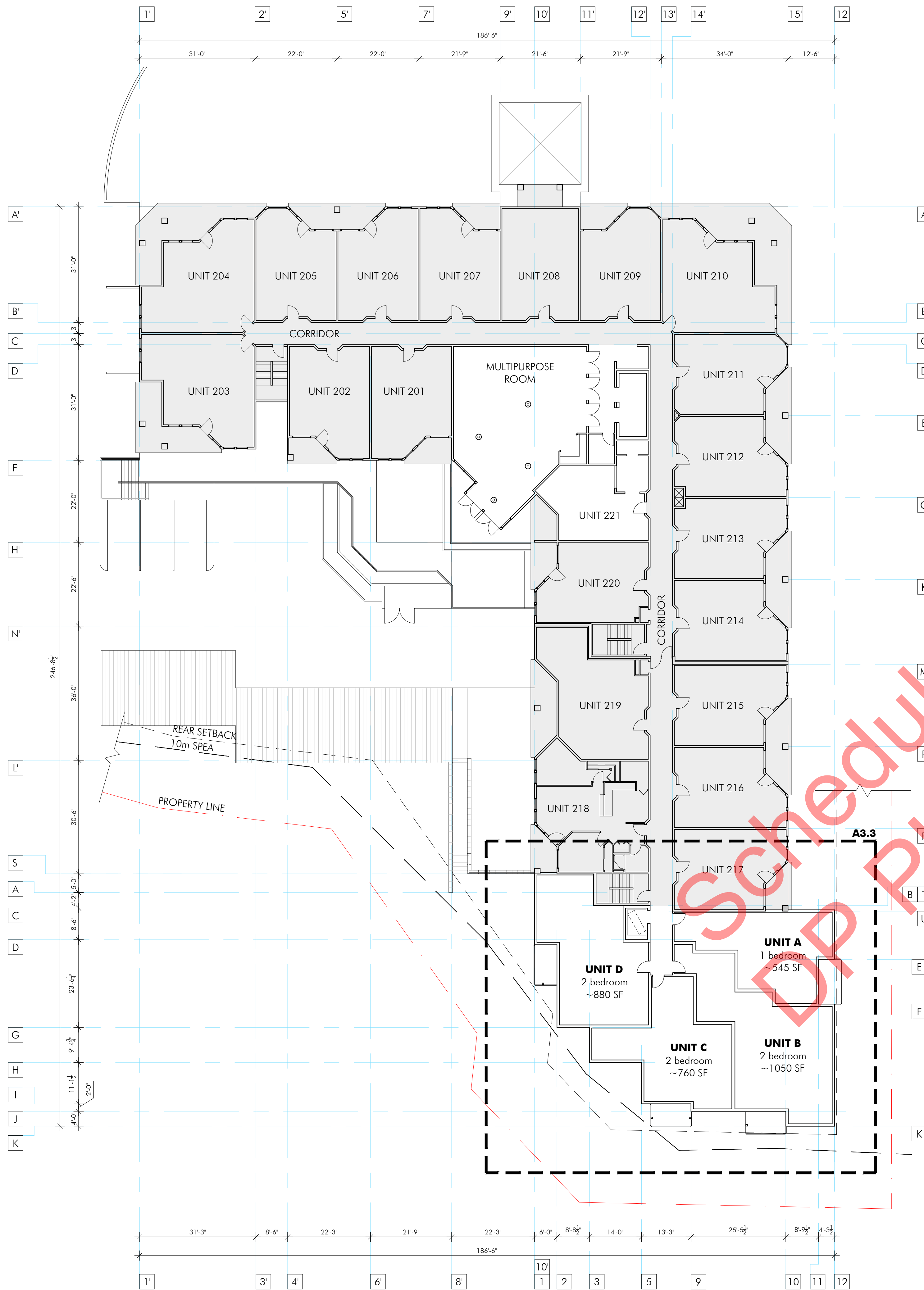
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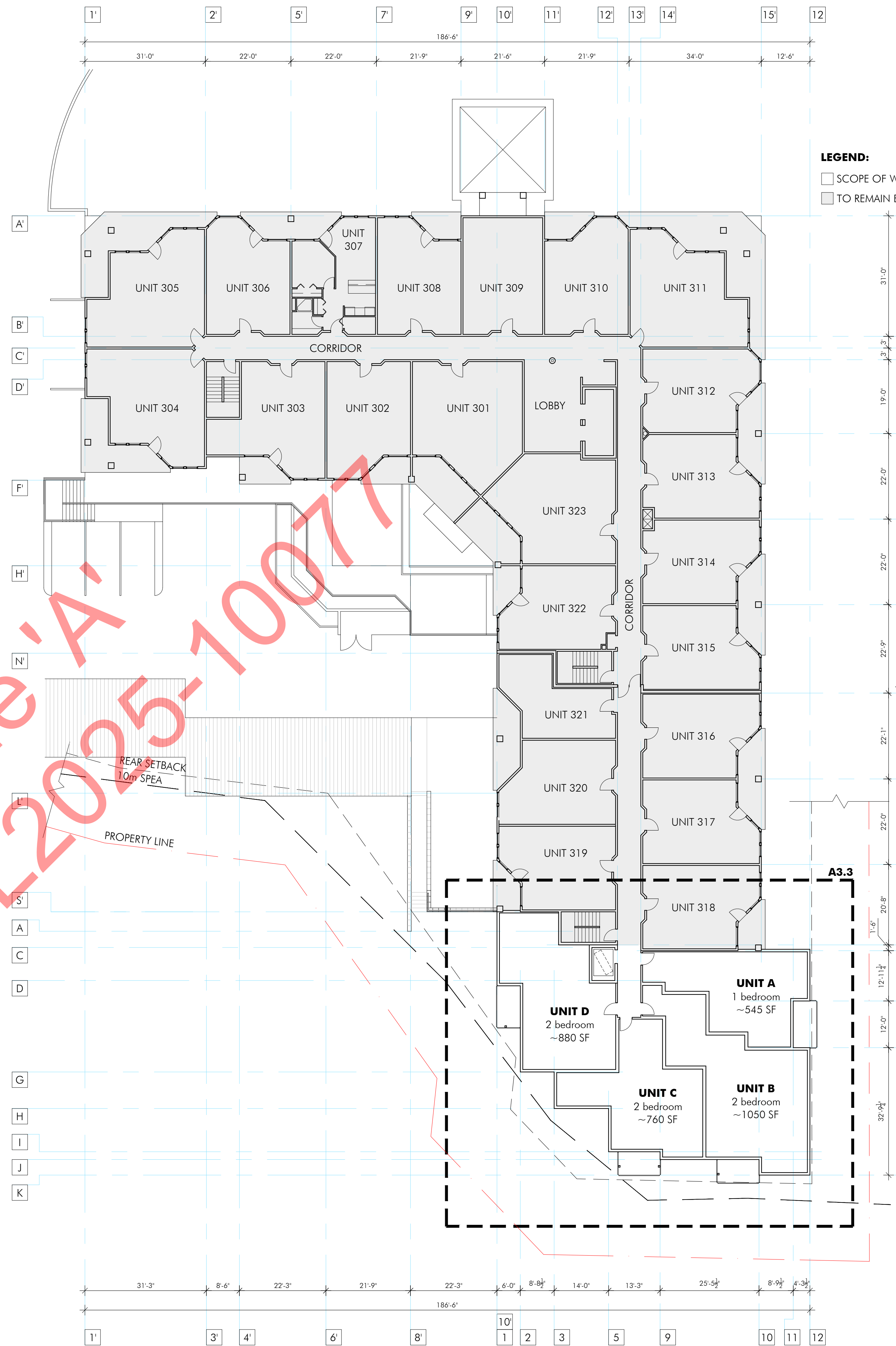
Drawing Title:

Basement Floor Plan
1st Floor Plan

Drawing No.:

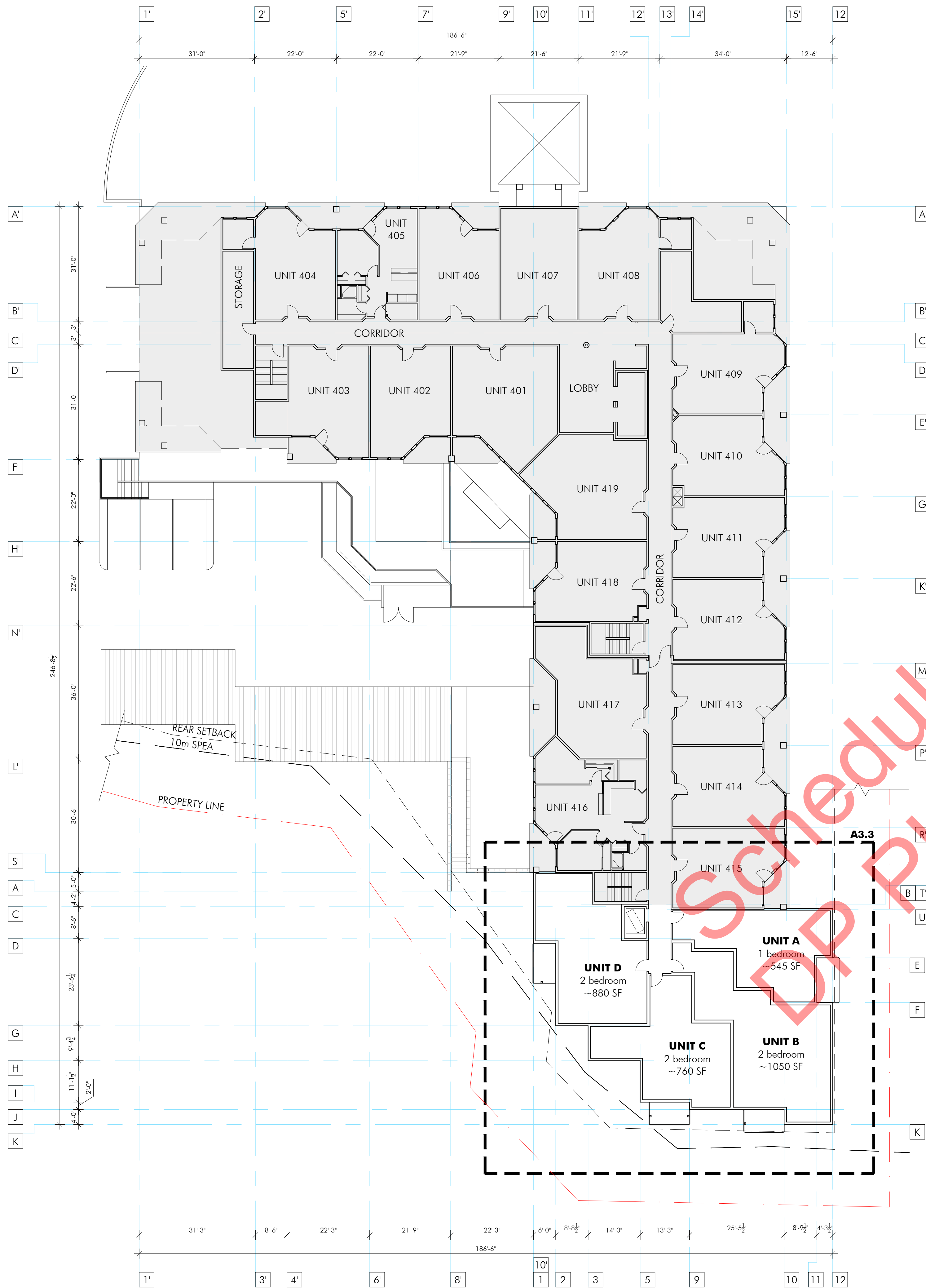


2ND FLOOR PLAN

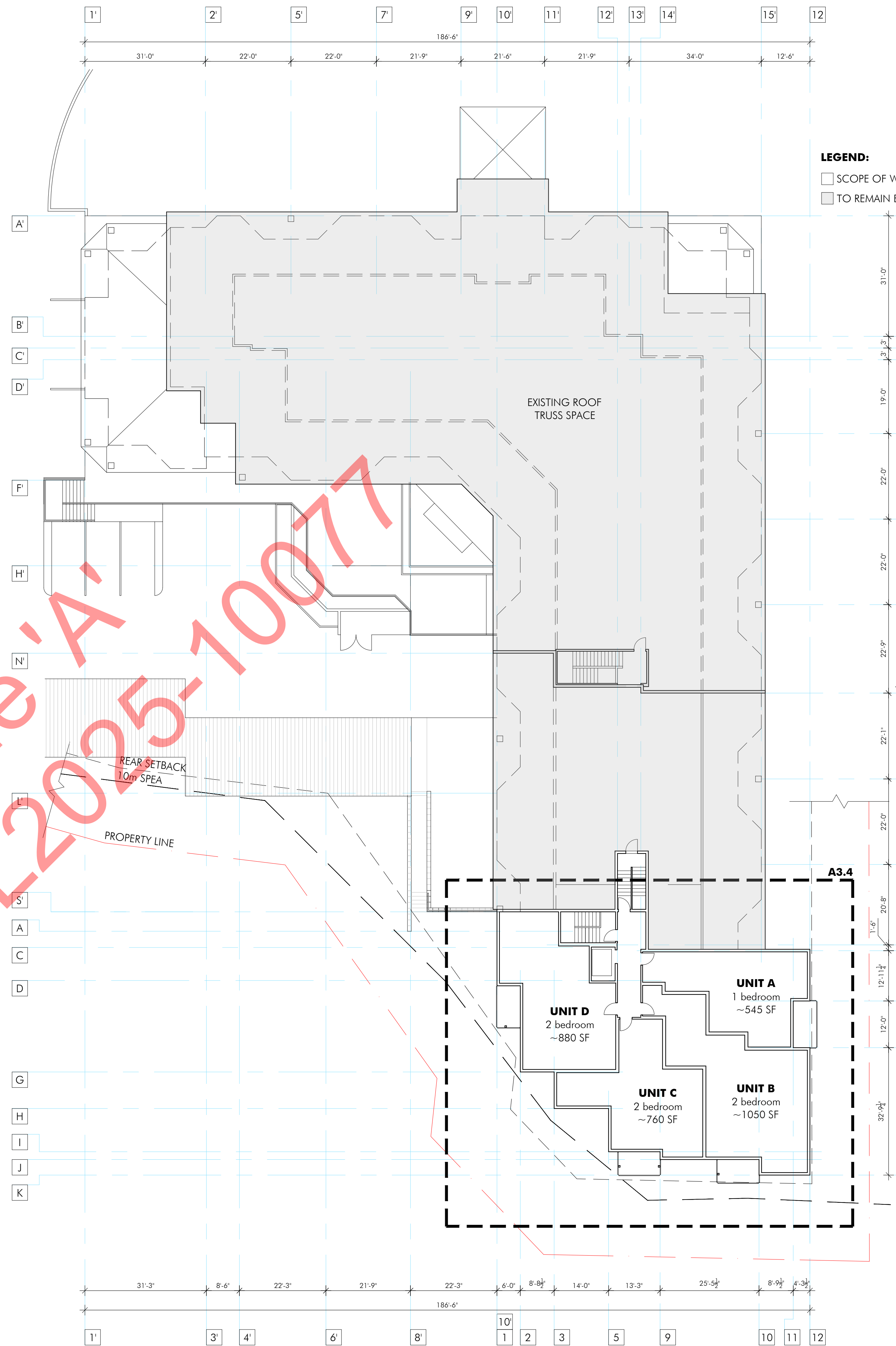


3RD FLOOR PLAN

A2.2



4TH FLOOR PLAN



5TH FLOOR PLAN

LEGEND:
 □ SCOPE OF WORK
 ■ TO REMAIN EXISTING

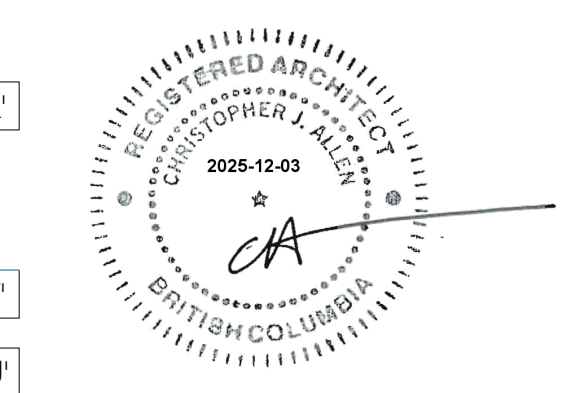
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Drawing Title:
Basement Floor Plan
1st Floor Plan

Drawing No.:

A2.3

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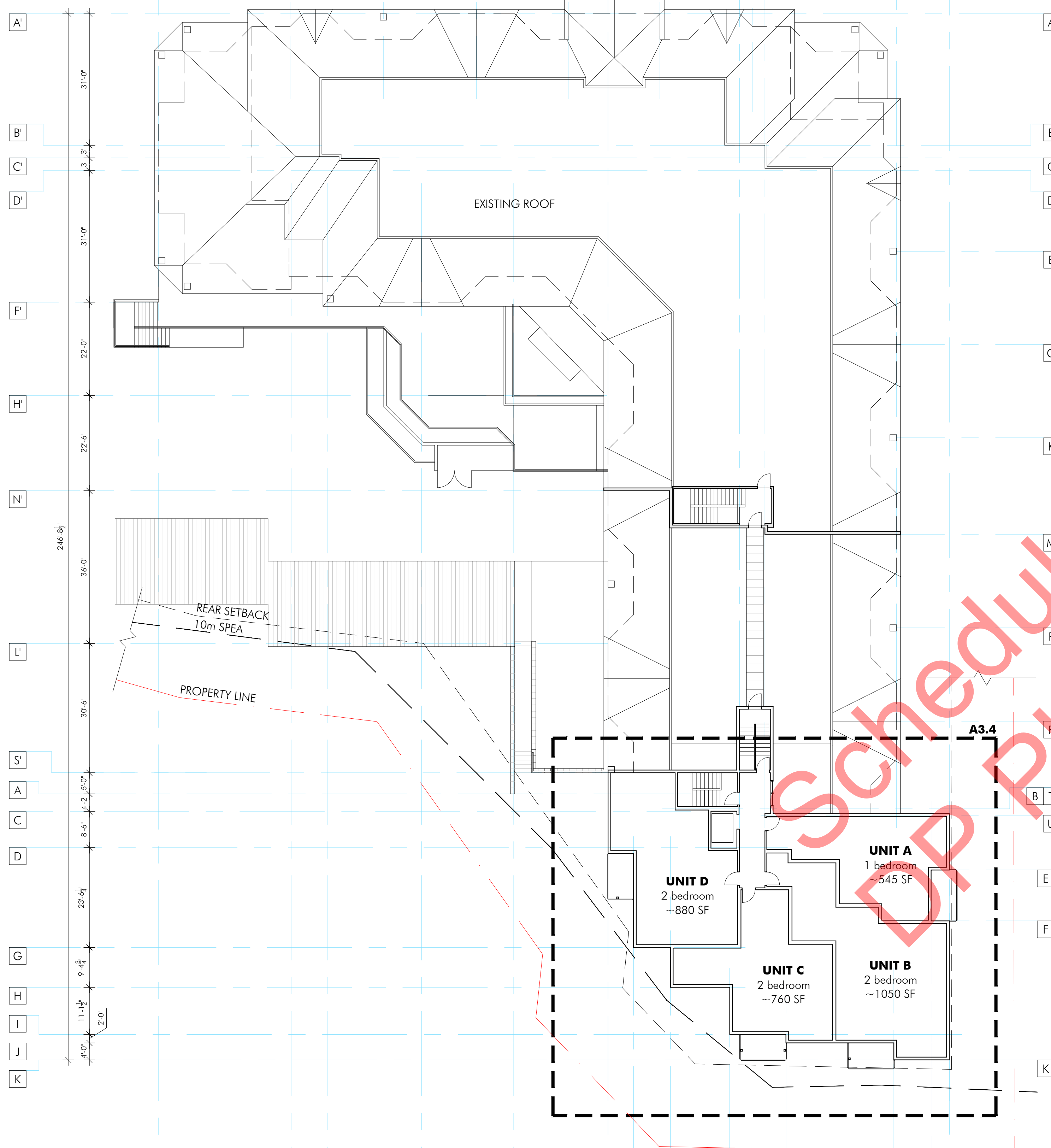
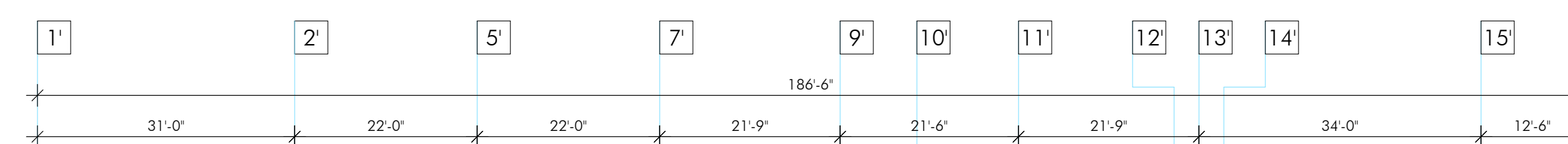
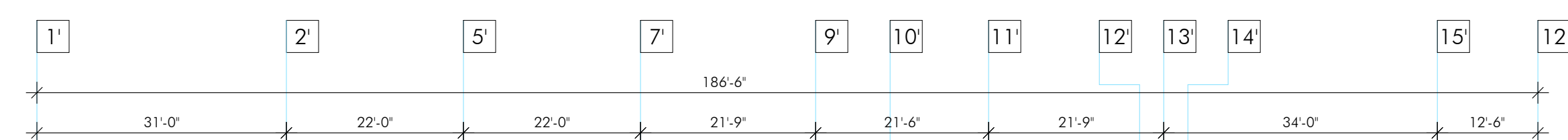
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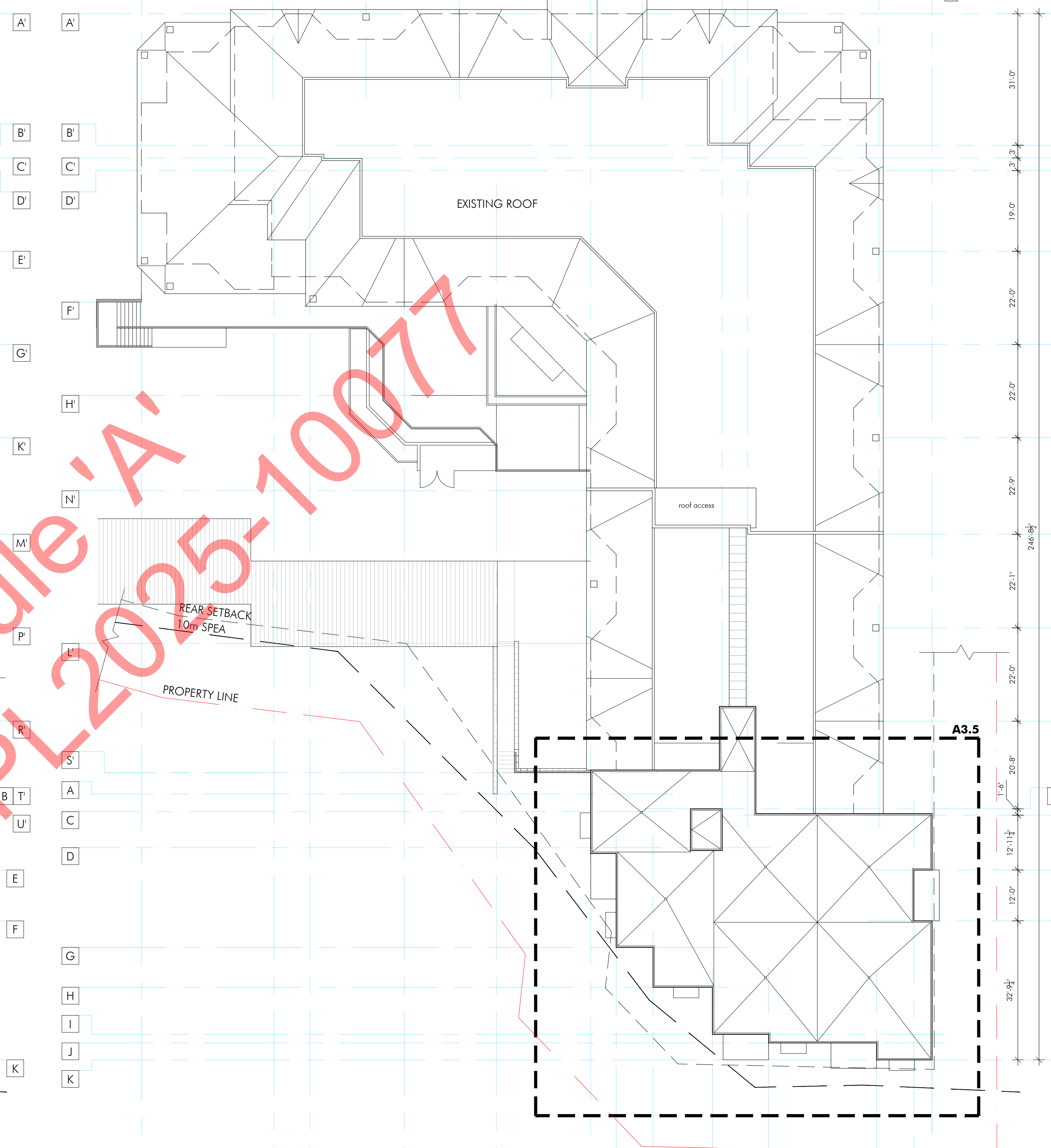
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Basement Floor Plan
1st Floor Plan

Drawing No.:

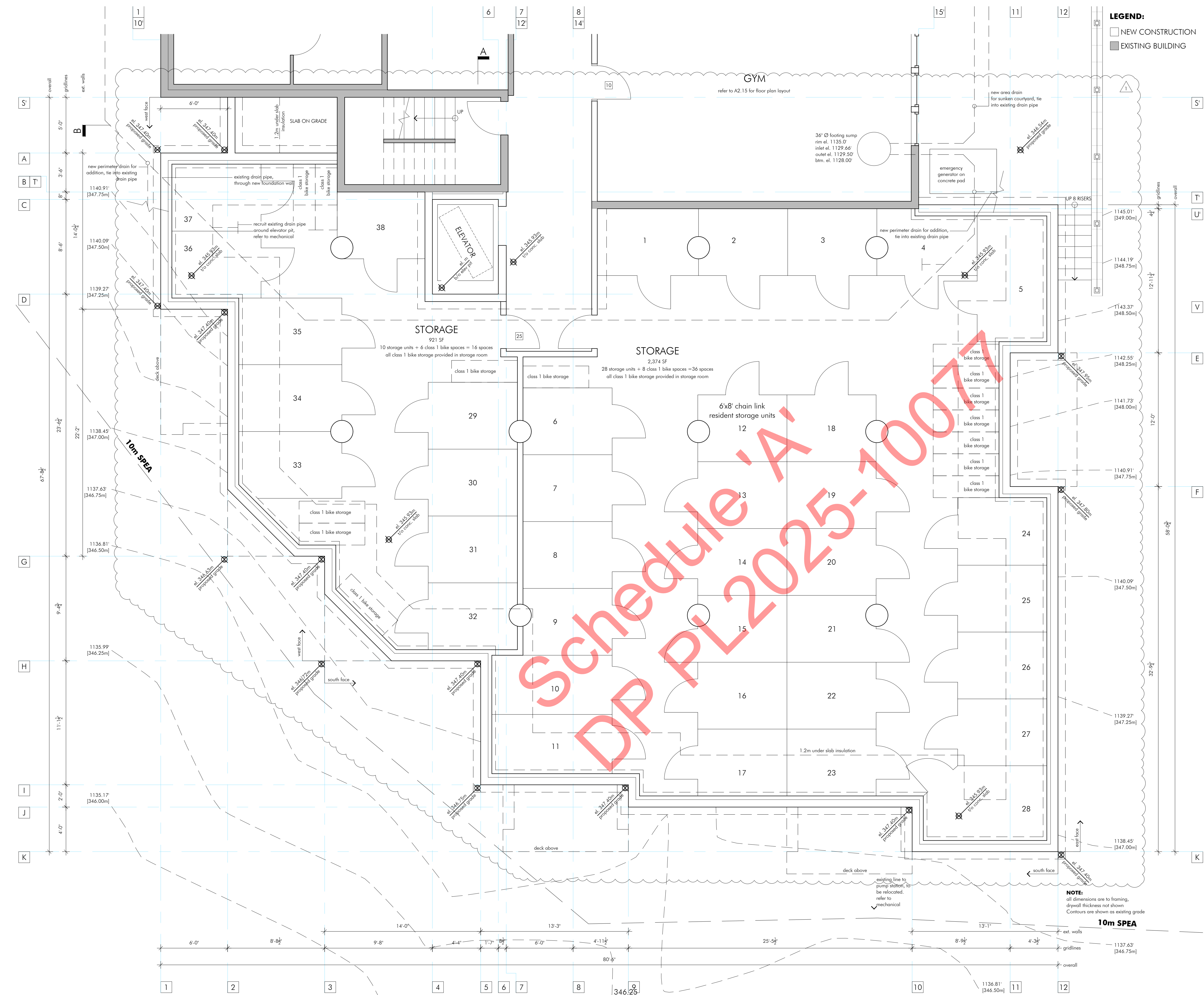
A2.4



6TH FLOOR PLAN



ROOF PLAN



LEGEND:
 □ NEW CONSTRUCTION
 ■ EXISTING BUILDING

SUITE-FLOORING LEGEND:
 REFER TO SPECIFICATIONS FOR DETAILED PRODUCT INFORMATION
 VF-01 - VINYL - DECK FLOOR
 PV-02 - PORCELAIN PAVERS - EXTERIOR
 VF-02 - VINYL PLANK - INTERIOR
 VF-03 - SHEET VINYL - BATHS
 C-01 - CARPET - BEDROOMS
 C-02 - CARPET - COMMON AREAS
 SV-01 - SHEET VINYL - KITCHEN
 SV-02 - SHEET VINYL - COMMON AREAS

CEILING LEGEND:
 ▨ DROPPED BULKHEAD

LIGHTING LEGEND:
 ○ LT-01 - RECESSED LIGHT - IN SOFFIT
 ○ LT-02 - RECESSED LIGHT
 ○ LT-03 - RECESSED LIGHT
 ○ LT-04 - VANITY SCNCE
 ○ LT-05 - VANITY SCNCE
 ○ LT-06 - CEILING LIGHT - BEDROOMS
 ○ LT-07 - CEILING LIGHT - LIVING, ENTRY
 ○ LT-08 - SENSOR LIGHT - W/D
 ○ LT-09 - WALL SCNCE
 ○ LT-10 - RECEPTION PENDENT
 ○ LT-11 - BUFFET CEILING LIGHT
 ○ LT-12 - DINING ROOM PENDENT
 ○ LT-13 - WALL SCNCE
 ○ LT-14 - FLOOR LAMPS
 ○ LT-15 - BILLIARDS PENDENT
 ○ LT-16 - BILLIARDS FLOOR LAMP

LIGHT FIXTURES SHOWING LOCATION ONLY. REFER TO ELEC. DWG'S AND SPECS.

FIXTURES & APPLIANCES:

①	PF-01 - UNDERCOUNTER SINK
②	PF-02 - KITCHEN FAUCET
③	PF-03 - UNDERCOUNTER SINK
④	PF-04 - VANITY FAUCET
⑤	PF-05 - TOILET
⑥	PF-06 - SHOWER INSERT
⑦	PF-07 - SHOWER INSERT
⑧	PF-08 - SHOWER HEAD
⑨	PF-09 - SHOWER INSERT
⑩	PF-10 - VANITY FAUCET
⑪	PF-11 - SINK
⑫	PF-12 - TOILET
⑬	PF-13 - URINAL
⑭	AC-01 - TOWEL BAR
⑮	AC-02 - HAND TOWEL BAR
⑯	AC-03 - TOILET PAPER
⑰	AC-04 - COAT HOOK
⑱	AC-05 - GRAB BAR
⑲	AC-05b - GRAB BAR
⑳	AC-06 - MEDICINE CABINET
㉑	AC-06b - MEDICINE CABINET
㉒	AC-07 - SHOWER ROD
㉓	AC-07b - SHOWER ROD
㉔	AC-07c - SHOWER ROD
㉕	AC-08 - SHOWER CURTAIN
㉖	AC-08b - SHOWER CURTAIN
㉗	AC-09 - SOAP DISPENSER

PAINT & WALL COVERINGS:

▲	PT-01 - PAINTED GYPSUM - WALLS
▲	PT-02 - SOLID CORE - DOORS
▲	PT-03 - MDF & WOOD - TRIM
▲	PT-04 - PAINTED GYPSUM - WALLS
▲	PT-05 - PAINTED GYPSUM - WALLS
▲	PT-06 - PAINTED GYPSUM - WALLS
▲	PT-07 - PAINTED GYPSUM - WALLS
▲	PT-08 - PAINTED GYPSUM - WALLS
▲	PT-09 - PAINTED GYPSUM - WALLS
▲	PT-10 - PAINTED GYPSUM - WALLS
▲	PT-11 - PAINTED GYPSUM - WALLS
▲	CT-01 - COUNTERTOP - BACKSPASH
▲	WP - KITCHEN WALL PANELS

MILLWORK, HARDWARE, & COUNTERTOPS:

▲	CAB-01 - MELAMINE - CABINETS
▲	CAB-02 - MELAMINE - VANITY
▲	CAB-03 - MELAMINE - RECEPTION DESK
▲	CT-01 - QUARTS - COUNTER TOP
▲	CAB-05 - PAINTED
▲	HD-01 - PULL
▲	HD-02 - PULL

LEGEND:
 ■ EXISTING WALLS
 ■ WALLS TO BE REMOVED
 □ NEW WALLS
 ▨ CONCRETE WALLS

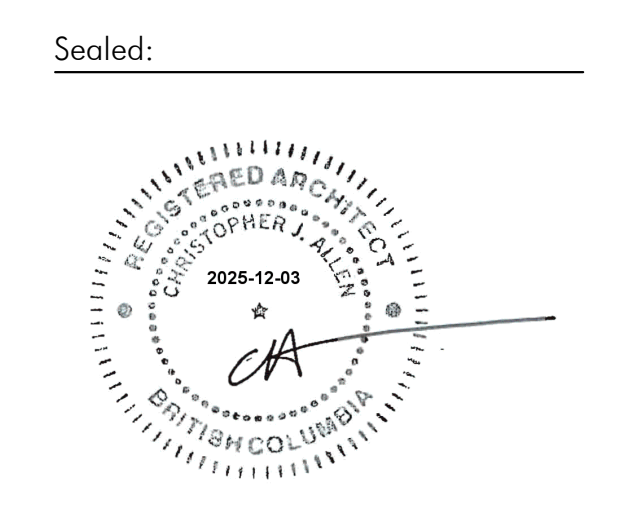
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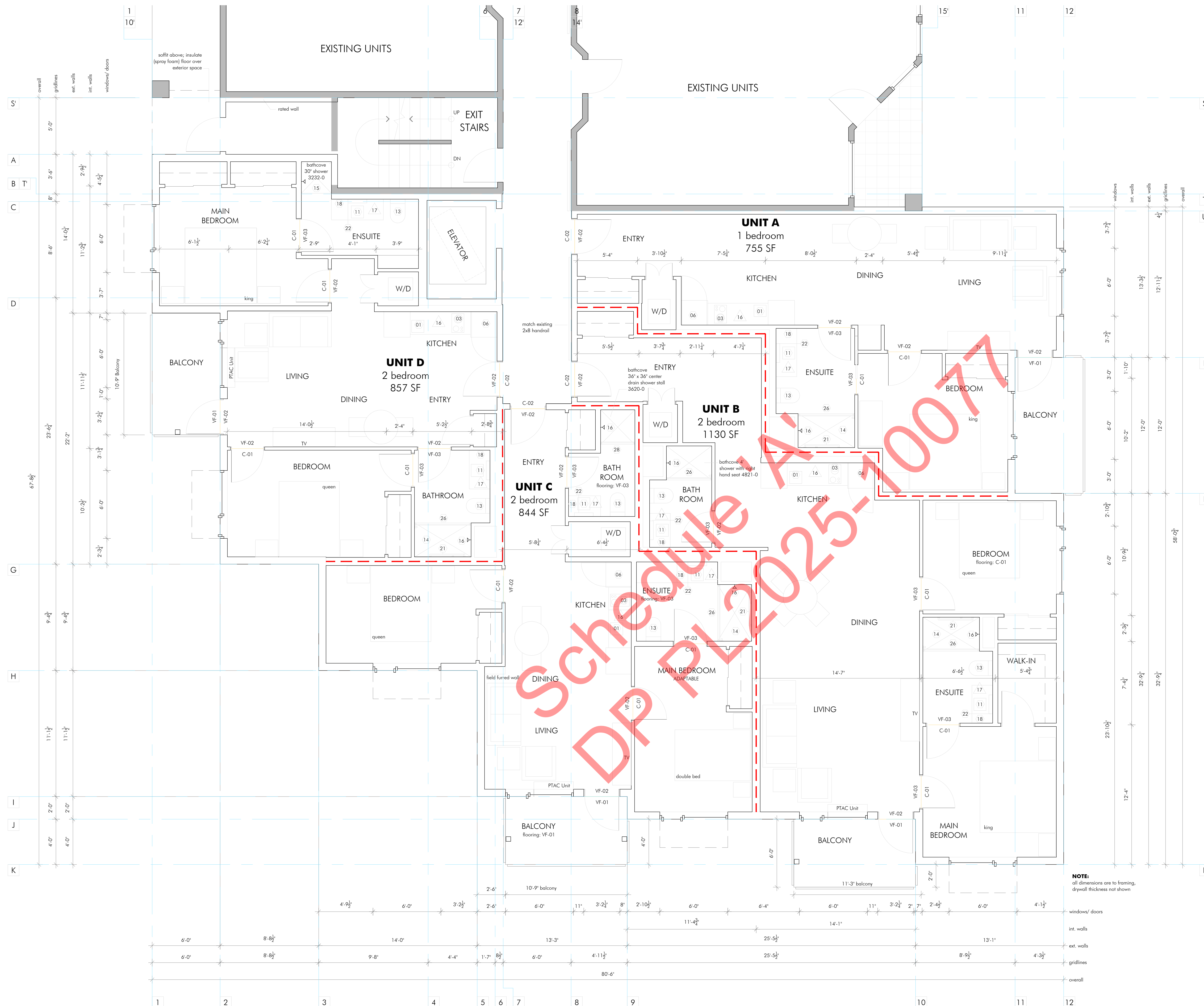
Drawing Title:
BASEMENT FLOOR PLAN (ENLARGED)

Drawing No.:

BASEMENT FLOOR PLAN

Landform Architecture

A3.1



SUITE-FLOORING LEGEND: REFER TO SPECIFICATIONS FOR DETAILED PRODUCT INFORMATION VF-01 - VINYL - DECK FLOOR PV-01 - PORCELAIN PAVERS - EXTERIOR VF-02 - VINYL PLANK - INTERIOR VF-03 - SHEET VINYL - BATHS C-01 - CARPET - BEDROOMS C-02 - CARPET - COMMON AREAS	
CEILING LEGEND: DROPPED BULKHEAD	
LIGHTING LEGEND: LT-01 - RECESSED LIGHT - IN SOFFIT LT-02 - EXTERIOR SCONCE LT-03 - RECESSED LIGHT - THROUGHOUT LT-04 - VANITY SCONCE - ENSUITE LT-05 - VANITY SCONCE - BATH LT-06 - VANITY SCONCE - POWDER LT-07 - CEILING LIGHT - BEDROOMS LT-08 - CEILING LIGHT - LIVING, ENTRY LT-09 - SENSOR LIGHT - W/D LIGHT FIXTURES SHOWING LOCATION ONLY. REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR DETAILS.	
CEILING HEIGHTS: 8'-0" CEILING HT. FOR SUITE 7'-0" DROP CEILING HT.	
KITCHEN FIXTURES & APPLIANCES: 01 UNDERCOUNTER SINK (PF-01) 02 KITCHEN FAUCET (PF-02) 03 COOKTOP (AP-03) 04 HOOD FAN (AP-04) 05 WALL OVEN (AP-05) 06 FRIDGE (AP-06) 07 MICROWAVE (AP-07) 08 DISHWASHER (AP-08) 09 GARBAGE BIN 10 UTENSIL TRAY	
BATHROOM FIXTURES & ACCESSORIES: 11 UNDERCOUNTER SINK (PF-02) 12 VANITY FAUCET (PF-03) 13 TOILET (PF-04) 14 SHOWER INSERT (PF-05) 15 SHOWER INSERT (PF-06) 16 SHOWER HEAD AND VALVE (PF-07) 17 TOWEL BAR (AC-01) 18 HAND TOWEL (AC-02) 19 TOILET PAPER (AC-03) 20 HOOK (AC-04) 21 GRAB BAR (AC-05) 22 MEDICINE CABINET (AC-06) 23 MEDICINE CABINET (AC-06b) 24 SHOWER ROD (AC-07) 25 SHOWER ROD (AC-07b) 26 SHOWER ROD (AC-07c) 27 SHOWER CURTAIN (AC-08) 28 SHOWER CURTAIN (AC-08b)	
PAINT & WALL COVERINGS: PT-01 - PAINTED GYPSUM - WALLS PT-02 - PAINTED GYPSUM - DOORS PT-03 - MDF & WOOD - TRIM PT-04 - PAINTED GYPSUM - WALLS PT-05 - PAINTED GYPSUM - WALLS PT-06 - PAINTED GYPSUM - WALLS PT-07 - PAINTED METAL/OTHER - DOORS CT-01 - COUNTERTOP - BACKSPASH	
MILLWORK, HARDWARE, & COUNTERTOPS: CAB-01 - MELAMINE - KITCHEN CABINETS CAB-01 - MELAMINE - CLOSETS CAB-02 - MELAMINE - VANITY CAB-03 - MELAMINE - RECEPTION DESK CAB-04 - MELAMINE - CABINETS HD-01 - PULL HD-02 - PULL CT-01 - QUARTS - KITCHEN CT-01 - QUARTS - BATHS CT-01 - QUARTS - RECEPTION	
LEGEND: EXISTING WALLS NEW WALLS CONCRETE WALLS	

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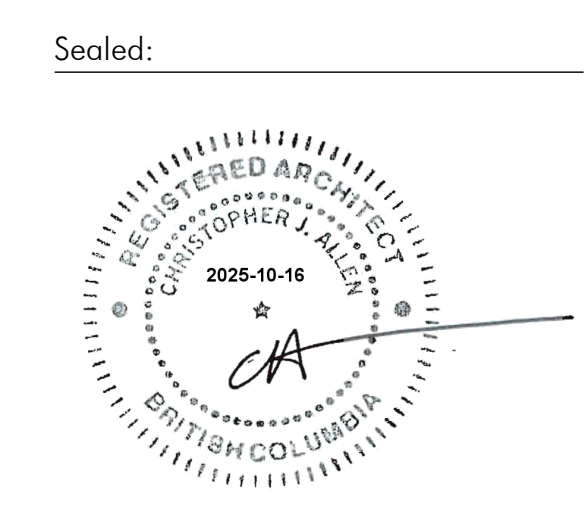
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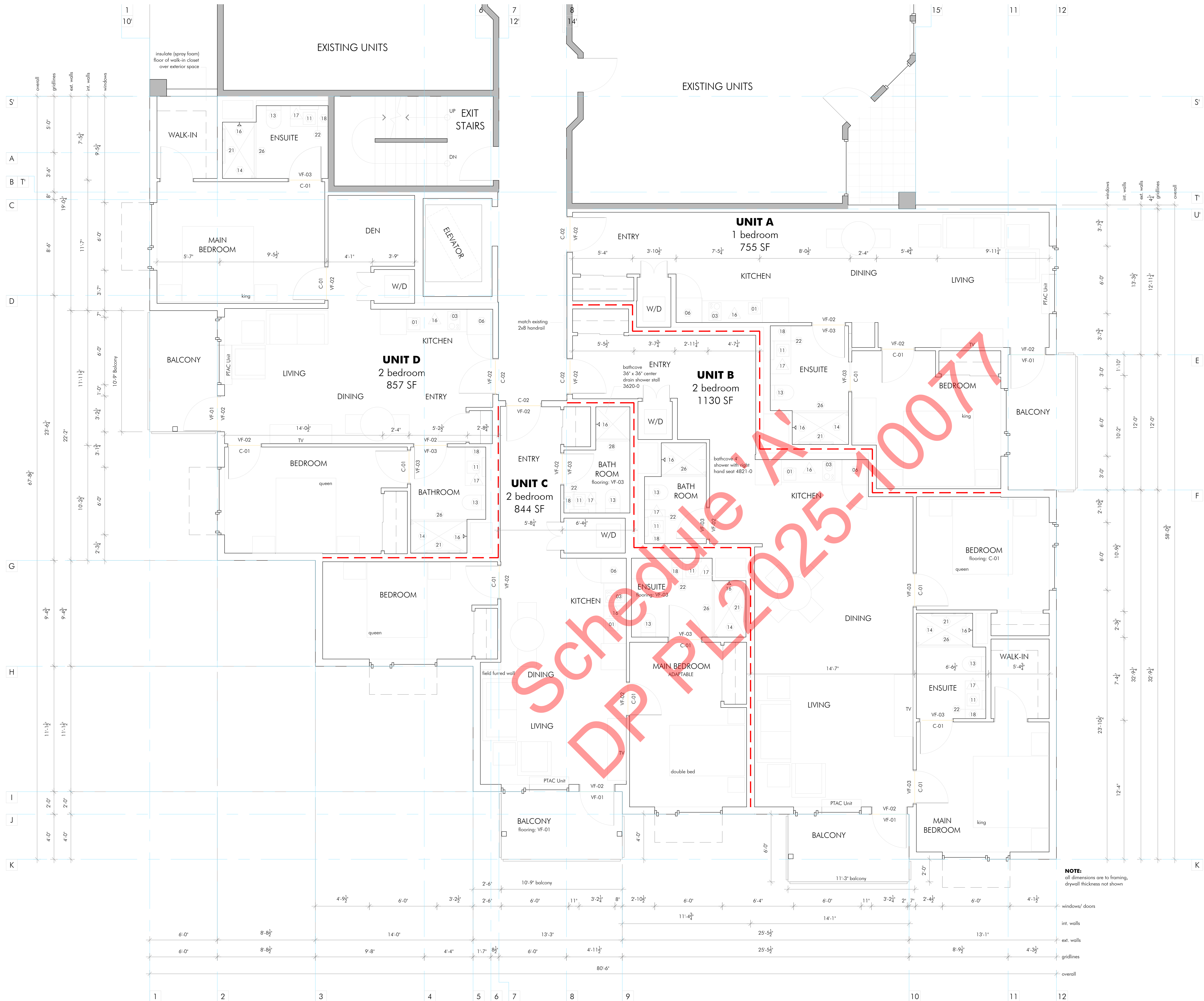
Project:
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Drawing Title:
1ST FLOOR PLAN
(ENLARGED)

Drawing No.:

A3.2

1ST FLOOR PLAN



SUITE-FLOORING LEGEND: REFER TO SPECIFICATIONS FOR DETAILED PRODUCT INFORMATION VF-01 - VINYL - DECK FLOOR PV-01 - PORCELAIN PAVERS - EXTERIOR VF-02 - VINYL PLANK - INTERIOR VF-03 - SHEET VINYL - BATHS C-01 - CARPET - BEDROOMS C-02 - CARPET - COMMON AREAS	
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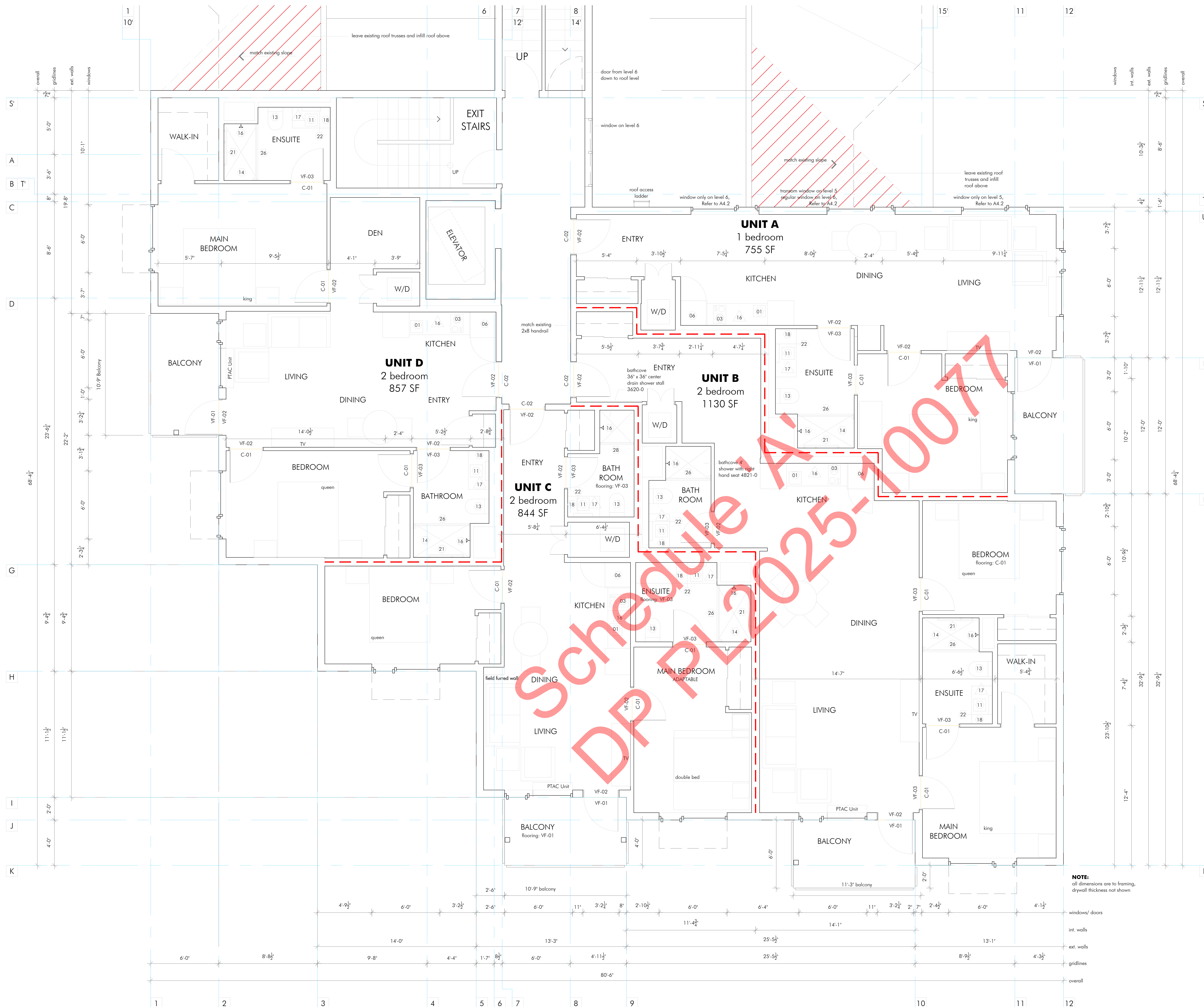
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2ND - 4TH FLOOR PLAN
(ENLARGED)

Drawing No.:

2ND - 4TH FLOOR PLAN

A3.3



SUITE-FLOORING LEGEND: REFER TO SPECIFICATIONS FOR DETAILED PRODUCT INFORMATION VF-01 - VINYL - DECK FLOOR PV-01 - PORCELAIN PAVERS - EXTERIOR VF-02 - VINYL PLANK - INTERIOR VF-03 - SHEET VINYL - BATHS C-01 - CARPET - BEDROOMS C-02 - CARPET - COMMON AREAS	
CEILING LEGEND: DROPPED BULKHEAD	
LIGHTING LEGEND: LT-01 - RECESSED LIGHT - IN SOFFIT LT-02 - EXTERIOR SCONCE LT-03 - RECESSED LIGHT - THROUGHOUT LT-04 - VANITY SCONCE - ENSUITE LT-05 - VANITY SCONCE - BATH LT-06 - VANITY SCONCE - POWDER LT-07 - CEILING LIGHT - BEDROOMS LT-08 - CEILING LIGHT - LIVING, ENTRY LT-09 - SENSOR LIGHT - W/D LIGHT FIXTURES SHOWING LOCATION ONLY. REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR DETAILS.	
CEILING HEIGHTS: 8'-0" CEILING HT. FOR SUITE 7'-0" DROP CEILING HT.	
KITCHEN FIXTURES & APPLIANCES: 01 UNDERCOUNTER SINK (PF-01) 02 KITCHEN FAUCET (PF-02) 03 COOKTOP (AP-03) 04 HOOD FAN (AP-04) 05 WALL OVEN (AP-05) 06 FRIDGE (AP-06) 07 MICROWAVE (AP-07) 08 DISHWASHER (AP-08) 09 GARBAGE BIN 10 UTENSIL TRAY	
BATHROOM FIXTURES & ACCESSORIES: 11 UNDERCOUNTER SINK (PF-02) 12 VANITY FAUCET (PF-03) 13 TOILET (PF-04) 14 SHOWER INSERT (PF-05) 15 SHOWER INSERT (PF-06) 16 SHOWER HEAD AND VALVE (PF-07) 17 TOWEL BAR (AC-01) 18 HAND TOWEL (AC-02) 19 TOILET PAPER (AC-03) 20 HOOK (AC-04) 21 GRAB BAR (AC-05) 22 MEDICINE CABINET (AC-06) 23 MEDICINE CABINET (AC-06b) 24 SHOWER ROD (AC-07) 25 SHOWER ROD (AC-07b) 26 SHOWER ROD (AC-07c) 27 SHOWER CURTAIN (AC-08) 28 SHOWER CURTAIN (AC-08b)	
PAINT & WALL COVERINGS: PT-01 - PAINTED GYPSUM - WALLS PT-02 - PAINTED GYPSUM - DOORS PT-03 - MDF & WOOD - TRIM PT-04 - PAINTED GYPSUM - WALLS PT-05 - PAINTED GYPSUM - WALLS PT-06 - PAINTED GYPSUM - WALLS PT-07 - PAINTED METAL/OTHER - DOORS CT-01 - COUNTERTOP - BACKSPASH	
MILLWORK, HARDWARE, & COUNTERTOPS: CAB-01 - MELAMINE - KITCHEN CABINETS CAB-01 - MELAMINE - CLOSETS CAB-02 - MELAMINE - VANITY CAB-03 - MELAMINE - RECEPTION DESK CAB-04 - MELAMINE - CABINETS HD-01 - PULL HD-02 - PULL CT-01 - QUARTS - KITCHEN CT-01 - QUARTS - BATHS CT-01 - QUARTS - RECEPTION	
LEGEND: EXISTING WALLS NEW WALLS CONCRETE WALLS	

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Revisions:

Client:
 PARC Retirement Living
 Russell Hobbs
 778-998-3711

Consultants:
 GREYBACK
 Mike Symonds
 778-476-8007

Sealed:

Project No.: **2413**
 Scale: **1:48**
 Drawn: **JA**

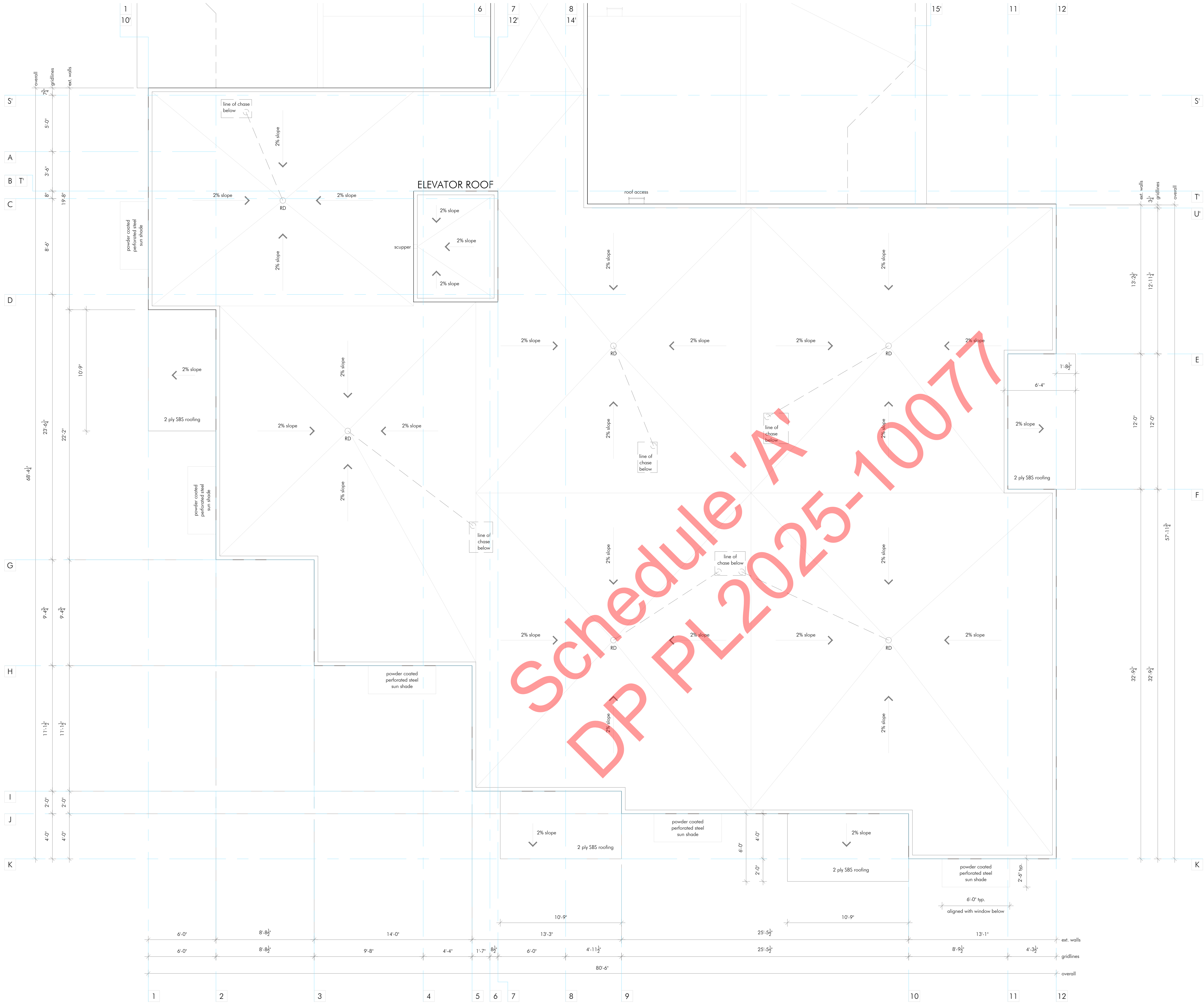
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Project:
PARC Athens Creek
170 Warren Ave West
Penticton, BC

Drawing Title:
5TH - 6TH FLOOR PLAN
(ENLARGED)

Drawing No.:

5TH - 6TH FLOOR PLAN



Schedule 'A'
 DP PL2025-1007

SUITE-FLOORING LEGEND: REFER TO SPECIFICATIONS FOR DETAILED PRODUCT INFORMATION VF-01 - VINYL - DECK FLOOR PV-01 - PORCELAIN PAVERS - EXTERIOR VF-02 - VINYL PLANK - INTERIOR VF-03 - SHEET VINYL - BATHS C-01 - CARPET - BEDROOMS C-02 - CARPET - COMMON AREAS	
CEILING LEGEND: DROPPED BULKHEAD	
LIGHTING LEGEND: LT-01 - RECESSED LIGHT - IN SOFFIT LT-02 - EXTERIOR SCONCE LT-03 - RECESSED LIGHT - THROUGHOUT LT-04 - VANITY SCONCE - ENSUITE LT-05 - VANITY SCONCE - BATH LT-06 - VANITY SCONCE - POWDER LT-07 - CEILING LIGHT - BEDROOMS LT-08 - CEILING LIGHT - LIVING, ENTRY LT-09 - SENSOR LIGHT - W/D LIGHT FIXTURES SHOWING LOCATION ONLY. REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR DETAILS.	
CEILING HEIGHTS: 8'-0" CEILING HT. FOR SUITE 7'-0" DROP CEILING HT.	
KITCHEN FIXTURES & APPLIANCES: 01 UNDERCOUNTER SINK (PF-01) 02 KITCHEN FAUCET (PF-02) 03 COOKTOP (AP-03) 04 HOOD FAN (AP-04) 05 WALL OVEN (AP-05) 06 FRIDGE (AP-06) 07 MICROWAVE (AP-07) 08 DISHWASHER (AP-08) 09 GARBAGE BIN 10 UTENSIL TRAY	
BATHROOM FIXTURES & ACCESSORIES: 11 UNDERCOUNTER SINK (PF-02) 12 VANITY FAUCET (PF-03) 13 TOILET (PF-04) 14 SHOWER INSERT (PF-05) 15 SHOWER INSERT (PF-06) 16 SHOWER HEAD AND VALVE (PF-07) 17 TOWEL BAR (AC-01) 18 HAND TOWEL (AC-02) 19 TOILET PAPER (AC-03) 20 HOOK (AC-04) 21 GRAB BAR (AC-05) 22 MEDICINE CABINET (AC-06) 23 MEDICINE CABINET (AC-06b) 24 SHOWER ROD (AC-07) 25 SHOWER ROD (AC-07b) 26 SHOWER ROD (AC-07c) 27 SHOWER CURTAIN (AC-08) 28 SHOWER CURTAIN (AC-08b)	
PAINT & WALL COVERINGS: 1 PT-01 - PAINTED GYPSUM - WALLS 2 PT-02 - PAINTED GYPSUM - DOORS 3 PT-03 - MDF & WOOD - TRIM 4 PT-04 - PAINTED GYPSUM - WALLS 5 PT-05 - PAINTED GYPSUM - WALLS 6 PT-06 - PAINTED GYPSUM - WALLS 7 PT-07 - PAINTED METAL/OTHER - DOORS 8 CT-01 - COUNTERTOP - BACKSPASH	
MILLWORK, HARDWARE, & COUNTERTOPS: 9 CAB-01 - MELAMINE - KITCHEN CABINETS 10 CAB-01 - MELAMINE - CLOSETS 11 CAB-02 - MELAMINE - VANITY 12 CAB-03 - MELAMINE - RECEPTION DESK 13 CAB-04 - MELAMINE - CABINETS 14 HD-01 - PULL 15 HD-02 - PULL 16 CT-01 - QUARTS - KITCHEN 17 CT-01 - QUARTS - BATHS 18 CT-01 - QUARTS - RECEPTION	
LEGEND: EXISTING WALLS NEW WALLS CONCRETE WALLS	

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Consultants:
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 Mike Symonds
 778-476-8007

Sealed:

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Project:
PARC Athens Creek
170 Warren Ave West
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Drawing Title:
ROOF PLAN
(ENLARGED)

Drawing No.:

ROOF PLAN

Issued:

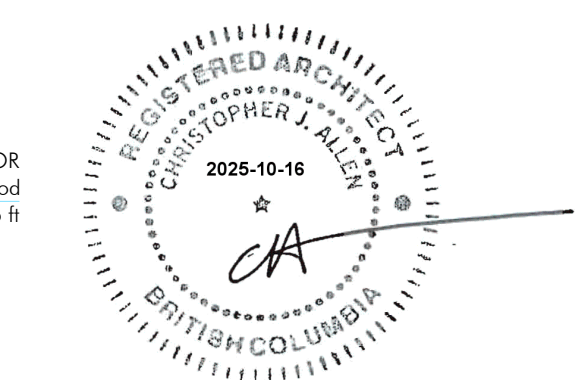
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Development Permit	Oct. 16, 2025

Revisions:

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Sealed:



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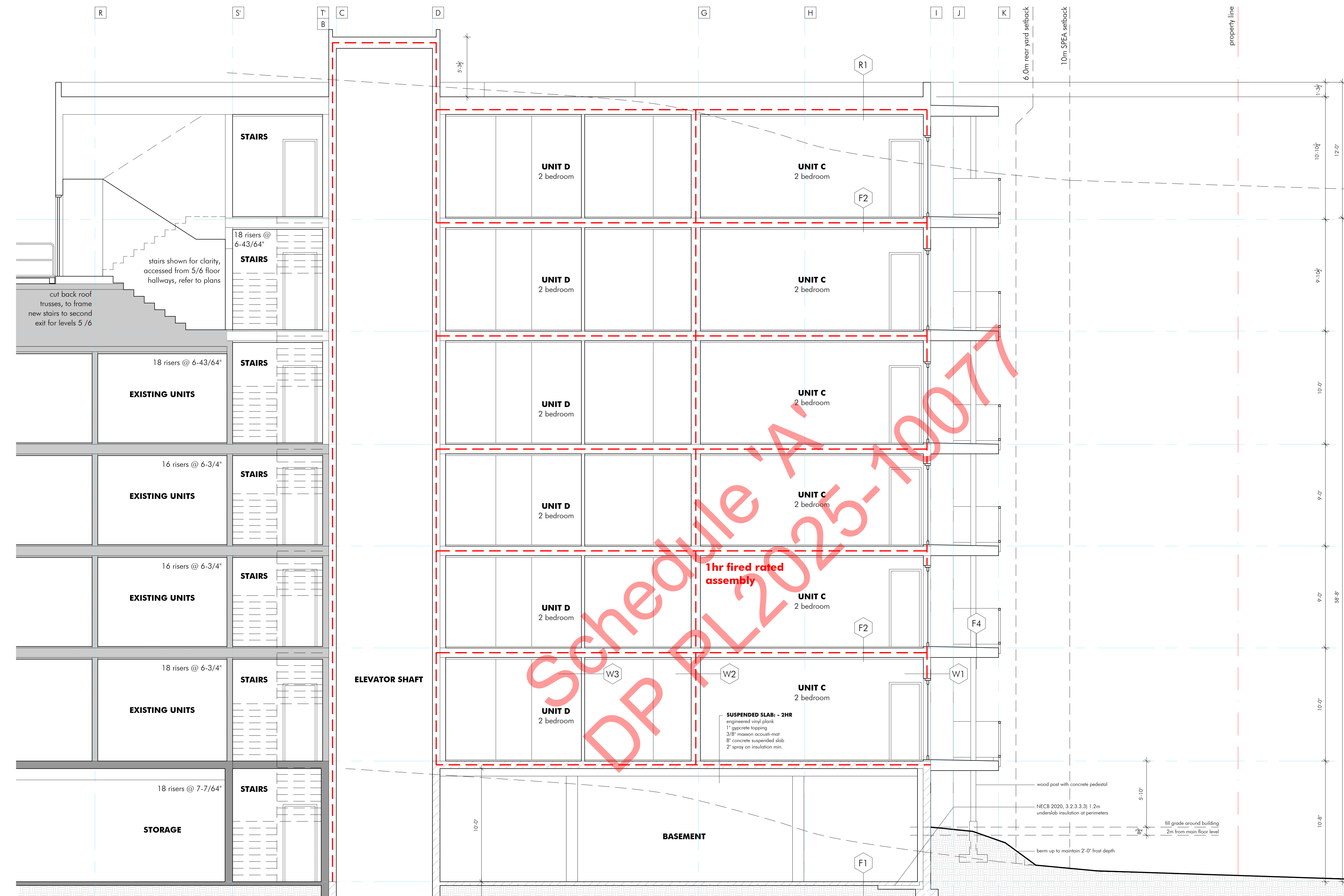
Project:
PARC Athens Creek
170 Warren Ave West
Penticton, BC

Drawing Title:
Sections

Drawing No.:

A4.1

SECTION A



BUILDING ASSEMBLIES

- R1 Insulated Roof Assembly - 1HR**
2 ply sloe roofing
protection board
3" poly iso insulation
EPS insulation, sloped 2% min. to drains
3" poly iso insulation
5/8" plywood substrate
11 7/8" TJI's
11 7/8" fiberglass insulation
2 layers 5/8" type-x gypsum
- F1 Slab on grade Assembly**
4" concrete slab,
reinforced as per structural
Poly ground sheet
3.3" XPS rigid insulation
5" radon rock, vented
- F2 Interior Floor Assembly - 1HR**
STC: 66
engineered vinyl plank
1" gyccrete topping
3/8" maxxon acousti-mat
5/8" plywood sheathing
9 1/2" TJI's
9 1/2" fiberglass insulation
resilient channels
2 layers 5/8" type-x gypsum
- F3 Floor Assembly**
engineered vinyl plank
1" gyccrete topping
3/8" maxxon acousti-mat
5/8" plywood sheathing
9 1/2" TJI's
infill with spray foam insulation
building paper
D.Fir Micro-V soffit
- F4 Deck Assembly**
duralak membrane
5/8" plywood sheathing,
sloped 2% min. for flush entry
9 1/2" TJI's
D.Fir Micro-V soffit
- W1 Exterior Wall Assembly - 1HR**
RSI: 4.028
hardie panel or metal siding
1x4 vertical strapping
vapour diffusing housewrap
1/2" plywood sheathing
2x8 studs (spacing as per structural)
7 1/4" fiberglass insulation
vapour barrier
5/8" type-x gypsum
- W2 Interior Party Wall Assembly - 1HR**
STC: 60
5/8" type-x gypsum, painted
2x4 wood studs (spacing as per structural)
3 1/2" fiberglass insulation
1" air gap (continuous floor sheathing)
1/2" plywood
2x4 wood studs (spacing as per structural)
3 1/2" fiberglass insulation
5/8" type-x gypsum, painted
- W3 Interior Wall Assembly**
1/2" gypsum board, painted
2 x 4 studs @ 16" o.c.
(2 x 6 for plumbing walls)
1/2" gypsum board, painted

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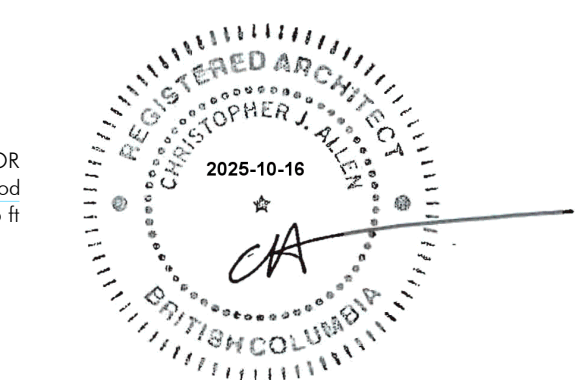
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Consultants:
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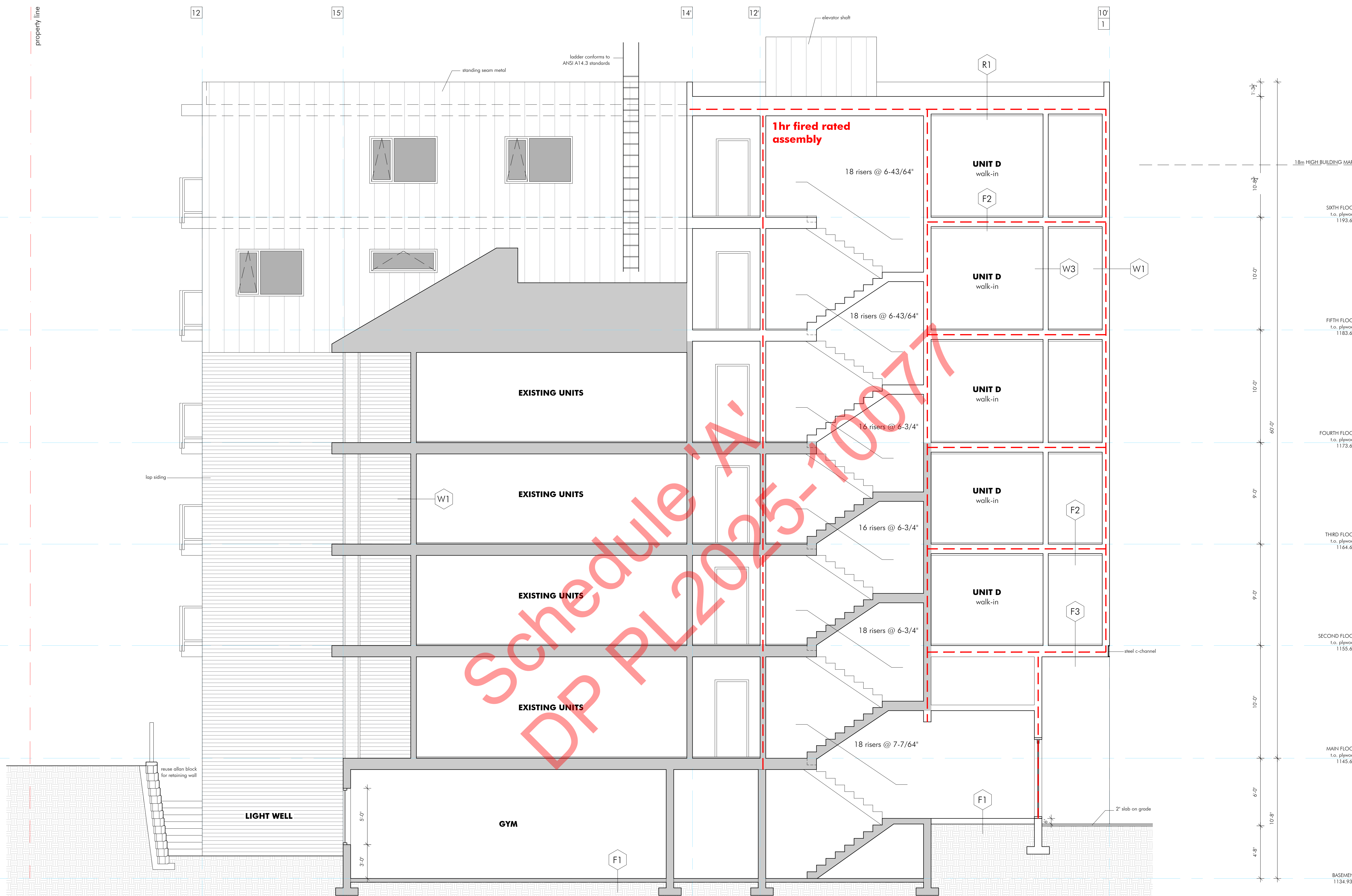
Project:
 PARC Athens Creek
 170 Warren Ave West
 Penticton, BC

Drawing Title:
Sections

Drawing No.:

A4.2

SECTION B



BUILDING ASSEMBLIES

- R1 Insulated Roof Assembly - 1HR**
 2 ply slab roofing
 protection board
 3\" poly iso insulation
 EPS insulation, sloped 2% min. to drains
 3\" poly iso insulation
 5/8\" plywood substrate
 11 7/8\" TJs
 2 layers 5/8\" type-x gypsum
- F1 Slab on grade Assembly:**
 4\" concrete slab,
 reinforced as per structural
 Poly ground sheet
 3.3\" XPS rigid insulation
 5\" radon rock, vented
- F2 Interior Floor Assembly - 1HR**
STC: 66
 engineered vinyl plank
 engineered vinyl plank
 1\" gypcrete topping
 3/8\" maxxon accousti-mat
 5/8\" plywood sheathing
 9 1/2\" TJs
 9 1/2\" fiberglass insulation
 resilient channels
 2 layers 5/8\" type-x gypsum
- F3 Floor Assembly:**
 engineered vinyl plank
 1\" gypcrete topping
 3/8\" maxxon accousti-mat
 5/8\" plywood sheathing
 9 1/2\" TJs
 infill with spray foam insulation
 building paper
 D.Fir Micro-V soffit
- F4 Deck Assembly:**
 duradek membrane
 5/8\" plywood sheathing,
 sloped 2% min. for flush entry
 9 1/2\" TJs
 D.Fir Micro-V soffit
- W1 Exterior Wall Assembly - 1HR**
 hardie panel or metal siding
 1x4 vertical strapping
 vapour diffusing housewrap
 1/2\" plywood sheathing
 2x8 studs (spacing as per structural)
 1/2\" plywood
 2x4 wood studs (spacing as per structural)
 3 1/2\" fiberglass insulation
 5/8\" type-x gypsum, painted
- W2 Interior Party Wall Assembly - 1HR**
STC: 60
 5/8\" type-x gypsum, painted
 2x4 wood studs (spacing as per structural)
 3 1/2\" fiberglass insulation
 1\" air gap (continuous floor sheathing)
 1/2\" plywood
 2x4 wood studs (spacing as per structural)
 3 1/2\" fiberglass insulation
 5/8\" type-x gypsum, painted
- W3 Interior Wall Assembly:**
 1/2\" gypsum board, painted
 2 x 4 studs @ 16\" o.c.
 (2 x 6 for plumbing walls)
 1/2\" gypsum board, painted

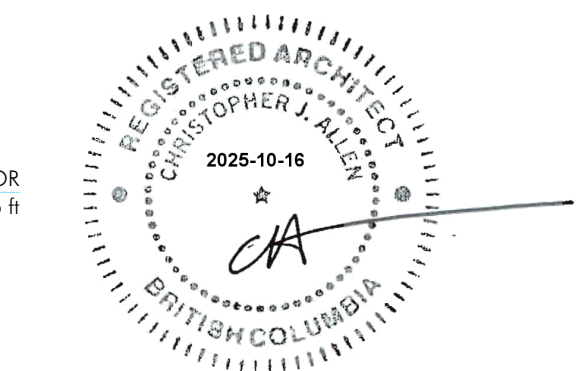
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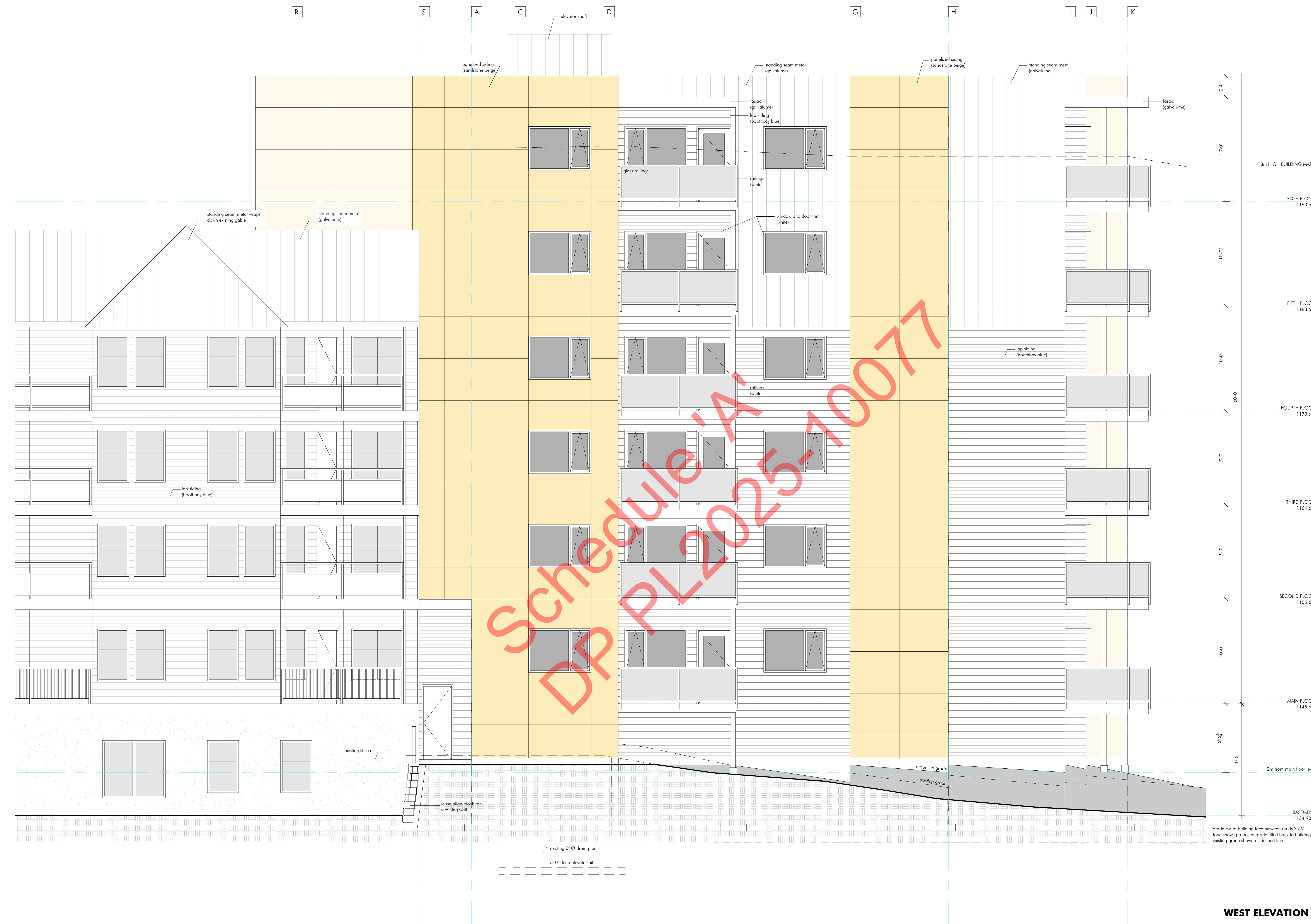
Project:
 PARC Athens Creek
 170 Warren Ave West
 Penticton, BC

Drawing Title:
Elevations

Drawing No.:

A5.1

WEST ELEVATION



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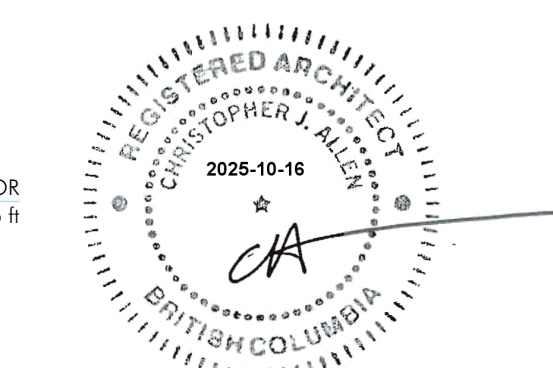
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Project:
PARC Athens Creek
 170 Warren Ave West
 Penticton, BC

Drawing Title:
Elevations

Drawing No.:

A5.2

EAST ELEVATION



grade cut at building face between Grids W / U
 tone shows proposed grade filled back to building
 existing grade shown as dashed line

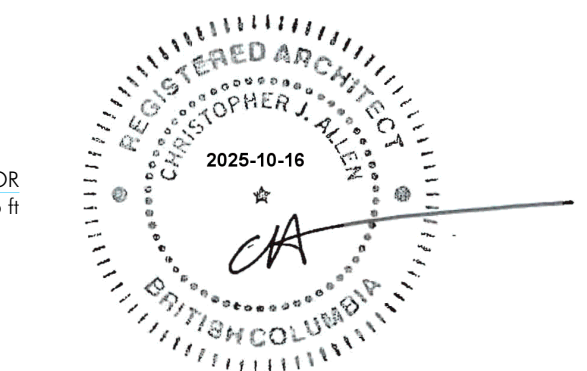
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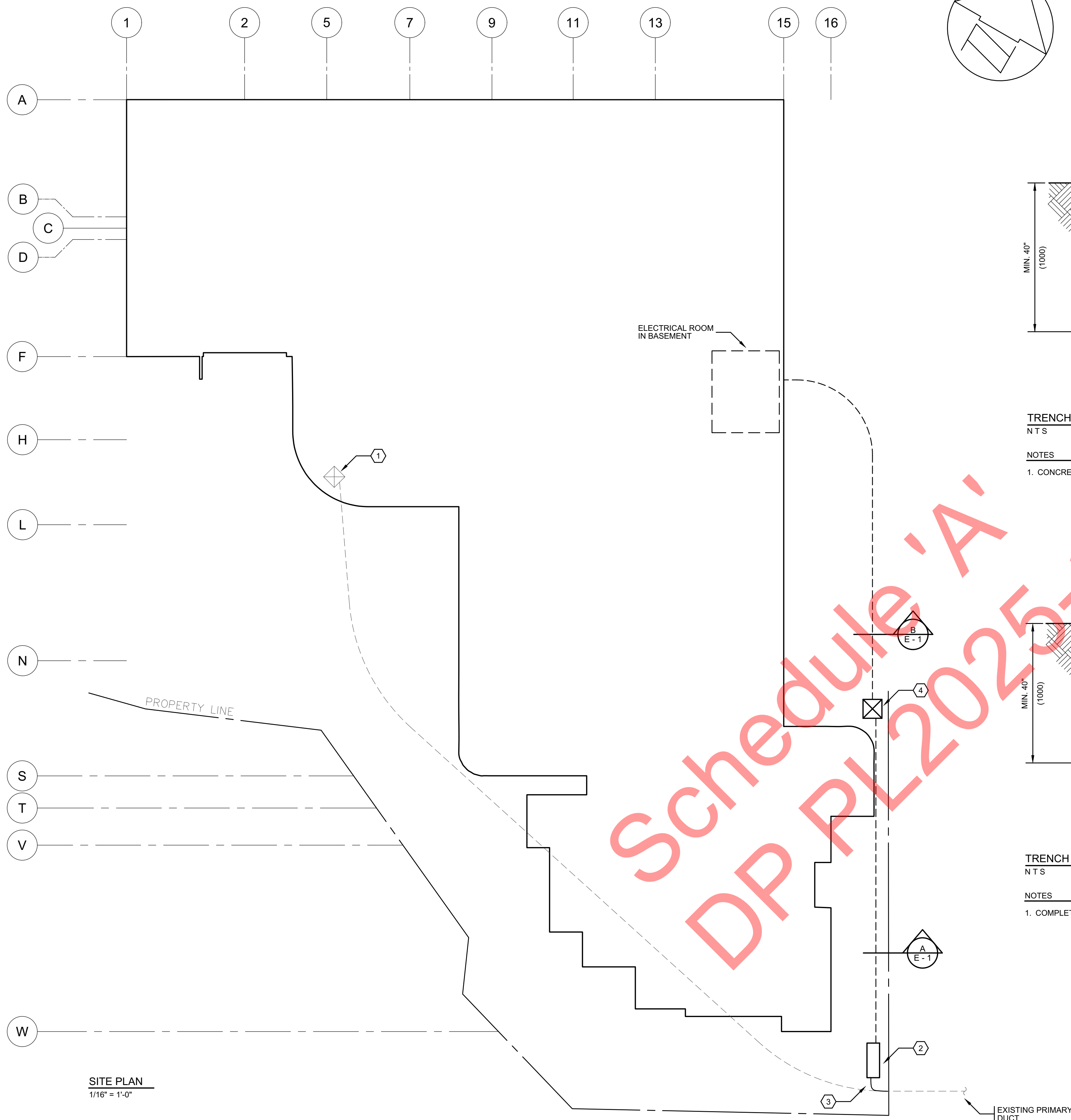
Drawing Title:
Elevations

Drawing No.:

A5.3

SOUTH ELEVATION

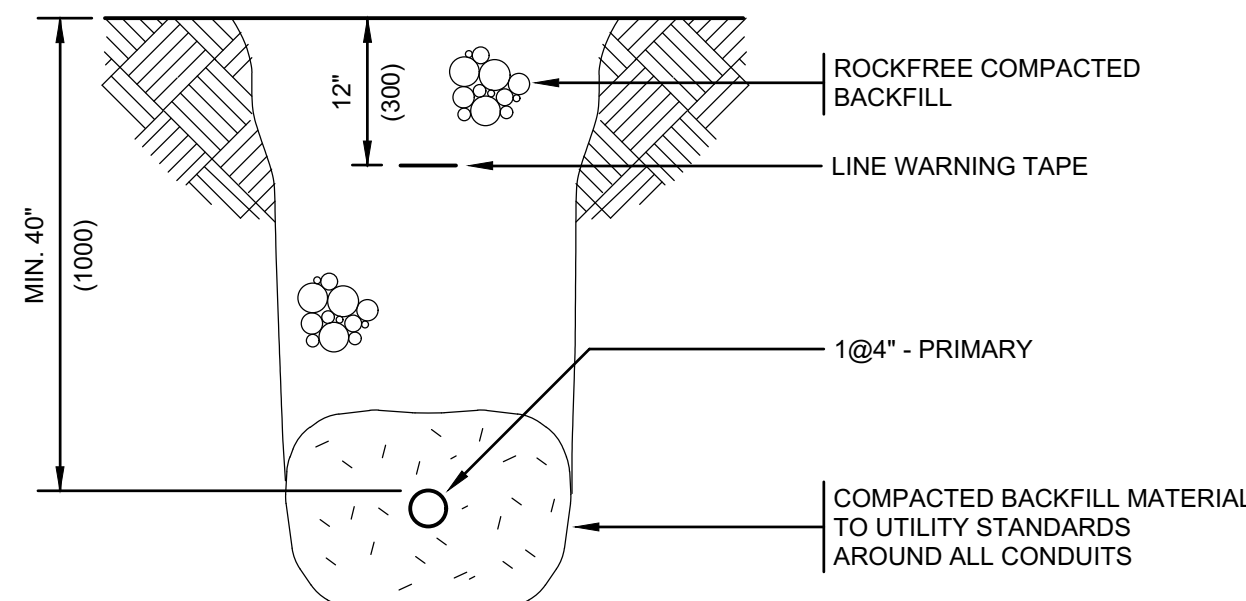




SITE PLAN
1/16" = 1'-0"

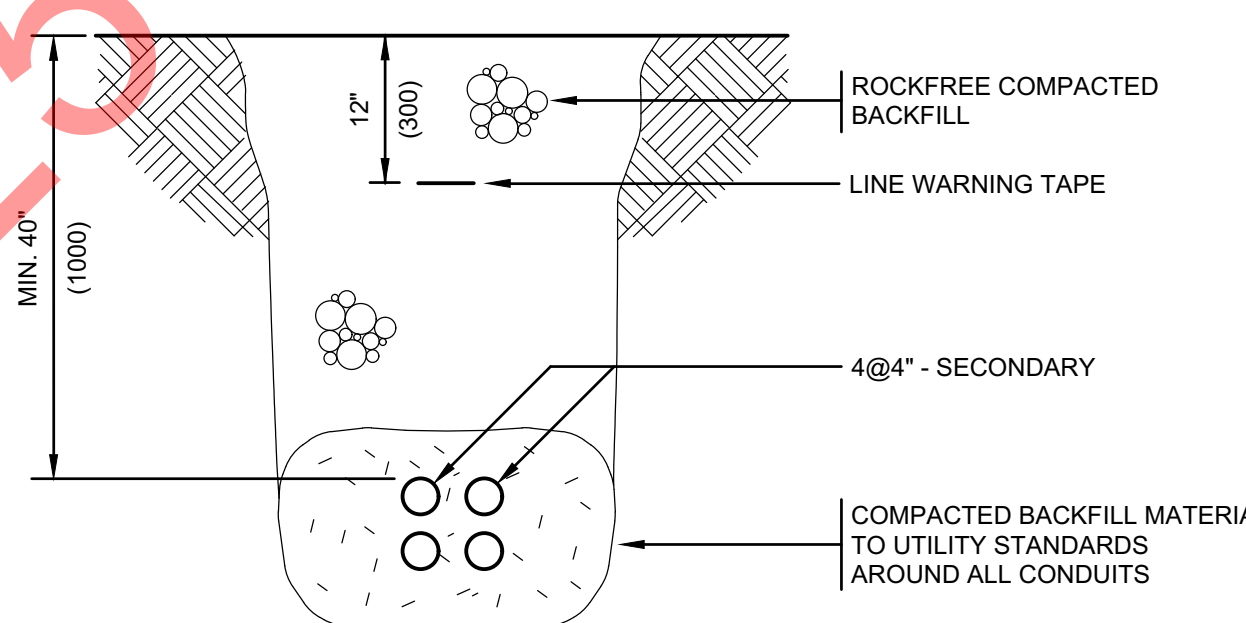
REFERENCE NOTES

- 1 EXISTING TRANSFORMER. TO BE SALVAGED BY CITY OF PENTICTON.
- 2 PROVIDE NEW KON KAST 832 FORTIS JUNCTION BOX. COMPLETE WITH GROUNDING. REFER TO CITY OF PENTICTON ELECTRIC UTILITY DISTRIBUTION STANDARDS DETAIL U-J3-1 FOR INSTALLATION NOTES.
- 3 BREAK IN AND REROUTE EXISTING PRIMARY DUCT INTO NEW 832 JUNCTION BOX. COORDINATE WITH CITY OF PENTICTON CREWS FOR REROUTING.
- 4 TRANSFORMER SUPPLIED AND INSTALLED BY CITY OF PENTICTON. PROVIDE TRANSFORMER PAD COMPLETE WITH GROUNDING. REFER TO DISTRIBUTION STANDARDS DETAIL U-V3-1 AND U-V3-3.



TRENCH SECTION
NTS
A
E-1

- NOTES**
1. CONCRETE ENCASE DUCT.



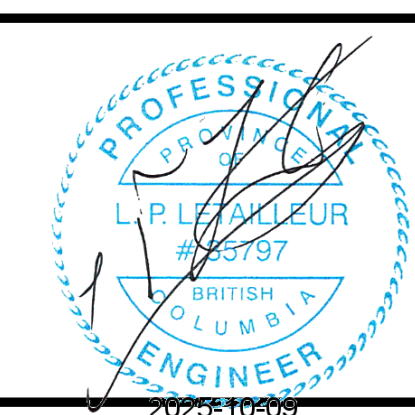
TRENCH SECTION
NTS
B
E-1

- NOTES**
1. COMPLETE WITH CONDUCTORS, REFER TO SINGLE LINE DIAGRAM.

SYMBOL LEGEND		
SYMBOL	DESCRIPTION	MOUNTING
□	SURFACE MOUNTED LUMINAIRE	CEILING
□	SURFACE MOUNTED LUMINAIRE	WALL
□	RECESSED LUMINAIRE	CEILING
□	RECESSED LUMINAIRE	WALL
□	RECESSED WALL WASHER LUMINAIRE	CEILING
□	ROADWAY/AREA LUMINAIRE	POLE
□	LOW VOLTAGE AREA LUMINAIRE	POST
□	TRACK LIGHT	AS SHOWN
□	SURFACE MOUNTED LUMINAIRE	CEILING
□	RECESSED MOUNTED LUMINAIRE	CEILING
□	LUMINAIRE TYPE 'A' CONNECTED TO EMERGENCY POWER	
□	INDICATES LUMINAIRE TYPE 'B' - SEE LUMINAIRE SCHEDULE	
□	RECESSED LUMINAIRE UPLIGHT	FLOOR/GROUND
□	FLOODLIGHT	AS SHOWN
□	EXIT LIGHT (SF=SINGLE FACE)	CEILING
□	EXIT LIGHT	WALL
□	INDICATES REFERENCE NOTE NO. 2	
□	INDICATES CIRCUIT NO. 2 FROM PANEL 'C'	
WP	INDICATES WEATHERPROOF DEVICE	
WG	WIRE GUARD	
EX	INDICATES EXPLOSION-PROOF DEVICE	
□	SINGLE POLE TOGGLE SWITCH (3-3 WAY, 4-4 WAY, D=DIMMER)	+42'(1050)
□	TOGGLE SW. (P=PILOT LT., T=TIMER, S=SPED, K=KEY OPERATED)	+42'(1050)
□	OCCUPANCY SENSOR SWITCH (NUMBER INDICATES TYPE - REFER TO SPECIFICATION)	+42'(1050)
□	LOW VOLTAGE LIGHT SWITCH (LETTER INDICATES CCT CONTROLLED)	+42'(1050)
□	OCCUPANCY SENSOR (NUMBER INDICATES TYPE - REFER TO SPECIFICATION)	CEILING/WALL
□	DAYLIGHT SENSOR (NUMBER INDICATES TYPE - REFER TO SPECIFICATION)	CEILING/WALL
□	PHOTOCELL	AS SHOWN
□	OUTLET/JUNCTION BOX	
□	USB RECEPTACLE	+18'(455)
□	USB RECEPTACLE 15/20A	+18'(455)
□	SINGLE CONVENIENCE RECEPTACLE	+18'(455)
□	DUPLEX CONVENIENCE RECEPTACLE	+18'(455)
□	DUPLEX CONVENIENCE RECEPTACLE 15/20A	+18'(455)
□	FOURPLEX CONVENIENCE RECEPTACLE	+18'(455)
□	DUPLEX CONVENIENCE RECEPTACLE FLUSH MOUNTED	FLOOR
□	DUPLEX CONVENIENCE RECEPTACLE SPLIT WIRED	ABOVE COUNTER
□	DUPLEX CONVENIENCE RECEPTACLE ISOLATED GROUND (I.G.)	+18'(455)
□	DUPLEX CONVENIENCE RECEPTACLE SWITCH ONE SIDE	+18'(455)
□	DUPLEX CONVENIENCE RECEPTACLE GROUND FAULT INTERRUPTING	ABOVE COUNTER
□	DUPLEX CONVENIENCE RECEPTACLE GROUND FAULT INTERRUPTING - 15/20A	ABOVE COUNTER
□	TWISTLOCK RECEPTACLE-RATING TO MATCH PROTECTIVE DEVICE	+18'(455)
□	SINGLE RECEPTACLE 208/240V.1PH (AMPERAGE AS NOTED)	+18'(455)
□	SINGLE RECEPTACLE 208/240V.3PH (AMPERAGE AS NOTED)	+18'(455)
□	DROP CORD RECEPTACLE	
□	CABLE TELEVISION OUTLET	+18'(455)
□	COMMUNICATION OUTLET (# = NUMBER OF DATA DROPS)	+18'(455)
□	DATA OUTLET FLUSH MOUNTED	FLOOR
□	PUSHBUTTON	AS NOTED
□	BUZZER	DN. 12'(300)
□	PANIC ALARM BUTTON	AS NOTED
□	BOLER EMERGENCY PUSHBUTTON OFF SWITCH	AS NOTED
□	CLOCK - 'D' DENOTES DOUBLE FACE	DN. 12'(300)
□	EMERGENCY LIGHTING BATTERY UNIT - WITH OR WITHOUT HEADS	DN. 18'(450)
□	COMBINATION EXIT SIGN/EMERGENCY LIGHTING FLOOD LIGHTS	WALL
□	EMERGENCY LIGHTING FLOOD LIGHT - SINGLE OR DOUBLE	AS SHOWN
□	RECESSED EMERGENCY LIGHT	AS SHOWN
□	UNFUSED DISCONNECT SWITCH	AS SHOWN
□	FUSED DISCONNECT SWITCH	AS SHOWN
□	MAGNETIC MOTOR STARTER	+60'(1500)
□	COMBINATION DISCONNECT/MAGNETIC MOTOR STARTER	+60'(1500)
□	MANUAL MOTOR STARTER	AS SHOWN
□	FIXED WIRE EQUIPMENT CONNECTION	AS SHOWN
□	THERMOSTAT	+45'(1150)
□	VARIABLE FREQUENCY DRIVE	
□	ELECTRIC BASEBOARD HEATER UNLESS NOTED AS FOLLOWS:	
□	FF = FORCE FLOW, LH = UNIT HEATER, CH = CONVECTION HEATER	
□	KS = KICKSPACE HEATER, PDH = PATIO DOOR HEATER	
□	B.I. = BUILT-IN THERMOSTAT, C.R. = CONTROL RELAY	
□	ELECTRICAL DISTRIBUTION PANELBOARD	SURFACE
□	ELECTRICAL DISTRIBUTION PANELBOARD	FLUSH
□	ELECTRICAL DISTRIBUTION PANELBOARD	CEILING
□	SPEAKER	WALL
□	MICROPHONE OUTLET	+18'(455)
□	SOUND SYSTEM HANDSET	+60'(1500)
□	INTERCOM COMMUNICATION HANDSET	+60'(1500)
□	AUTOMATIC HEAT DETECTOR 135° R.O.R	CEILING
□	AUTOMATIC HEAT DETECTOR 160° FIXED TEMP.	CEILING
□	SMOKE DETECTOR (D DENOTES DUCT DETECTOR)	CEILING
□	SMOKE/CARBON MONOXIDE ALARM	CEILING
□	FIRE ALARM PULL STATION	+42'(1050)
□	FIRE ALARM BELL OR HORN & PULL STATION	DN. 12'(300)
□	FIRE ALARM BELL OR HORN	DN. 12'(300)
□	COMBINATION FIRE ALARM BELL/STROBE OR HORN/STROBE	DN. 12'(300)
□	FIRE ALARM BUZZER	+42'(1050)
□	FIRE ALARM SPEAKER	CEILING
□	COMBINATION FIRE ALARM SPEAKER/STROBE LIGHT	CEILING
□	MAGNETIC DOOR HOLDER	FLOOR/WALL
□	FIRE ALARM STROBE LIGHT	+78'(1980)
□	SMOKE ALARM STROBE LIGHT	+78'(1980)
□	MULTI SERVICE RECESSED FLOOR BOX WITH DEVICES AS NOTED	FLOOR
□	FIXED WIRE CONNECTION TO PRE-WIRED FURNITURE SCREENS	
□	INTRUDER ALARM MAGNETIC DOOR SWITCH	WALL
□	INTRUDER ALARM PASSIVE INFRARED DETECTOR	CEILING
□	INTRUDER ALARM PASSIVE INFRARED DETECTOR	WALL
□	SECURITY CAMERA	
□	INTRUDER ALARM KEYPAD	
□	CARD READER	
□	ELECTRIC STRIKE	
□	INTRUDER ALARM GLASS BREAK	
□	CONNECTION TO DISHWASHER	+6'(150)
□	RECEPTACLE FOR RANGE CONNECTION (2P-40A BREAKER)	+6'(150)
□	RECEPTACLE FOR CLOTHES DRYER (2P-30A BREAKER)	+6'(150)
□	20A-T-SLOT RECEPTACLE FOR MICROWAVE OVEN	+54'(1370)
□	CONNECTION TO COOK TOP STOVE	
□	CONNECTION TO WALL OVEN	
E	INDICATES EXISTING DEVICE TO REMAIN	
R	INDICATES EXISTING DEVICE TO BE REMOVED	
RE	REPLACE EXISTING IN SAME LOCATION	
NL	NIGHT LIGHT (ON CONTINUOUSLY)	
□	NURSE CALL PULLSTRING	+42'(1050)
NOTE	ALL DIMENSIONS ARE TO CENTRE OF DEVICE BOX	

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project
PARC Retirement Athens Creek Service Upgrade
170 Warren Ave West
Penticton, BC, V2A 8R6

date	OCT 2025	dr. by	EP/GW
scale	AS NOTED	des. by	MM
job no.	25076.001	eor	LL
		rev. by	

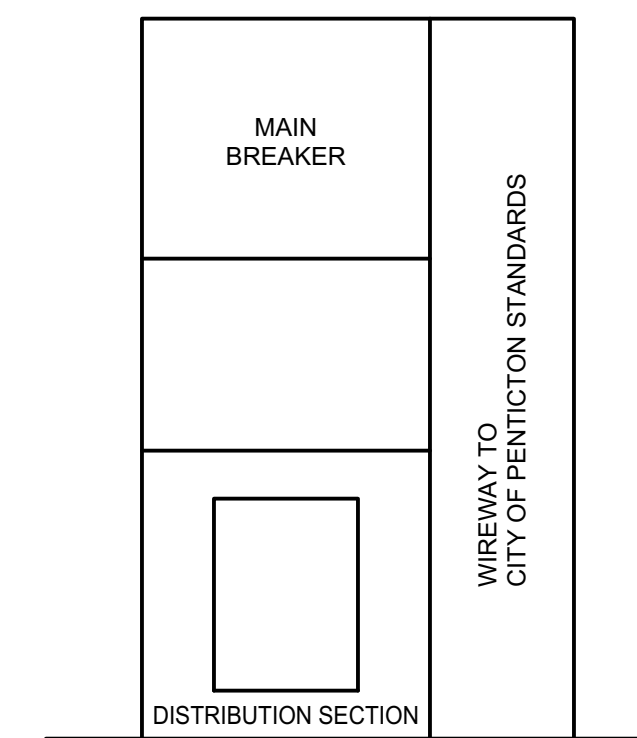
drawing no.
E - 1 OF 4

PROJECT MANAGER
Michael MacLean
c 250.869.7307
e michael.maclean@falcon.ca

LOAD		TRIP AMP	BR. NO.	BUS			BR. NO.	TRIP AMP	LOAD
				A	B	C			
FUTURE SUITE		2P	1				2	2P	FUTURE SUITE
FUTURE SUITE		100	3				4	100	FUTURE SUITE
FUTURE SUITE		2P	5				6	2P	FUTURE SUITE
FUTURE SUITE		100	7				8	100	FUTURE SUITE
FUTURE SUITE		2P	9				10	2P	FUTURE SUITE
FUTURE SUITE		100	11				12	100	FUTURE SUITE
FUTURE SUITE		2P	13				14	2P	FUTURE SUITE
FUTURE SUITE		100	15				16	100	FUTURE SUITE
FUTURE SUITE		2P	17				18	2P	FUTURE SUITE
FUTURE SUITE		100	19				20	100	FUTURE SUITE
FUTURE SUITE		2P	21				22	2P	FUTURE SUITE
FUTURE SUITE		100	23				24	100	FUTURE SUITE
FUTURE SUITE		2P	25				26	2P	FUTURE SUITE
FUTURE SUITE		100	27				28	100	FUTURE SUITE
FUTURE SUITE		2P	29				30	2P	FUTURE SUITE
FUTURE SUITE		100	31				32	100	FUTURE SUITE
FUTURE SUITE		2P	33				34	2P	FUTURE SUITE
FUTURE SUITE		100	35				36	100	FUTURE SUITE
FUTURE SUITE		2P	37				38	2P	FUTURE SUITE
FUTURE SUITE		100	39				40	100	FUTURE SUITE
FUTURE SUITE		2P	41				42	2P	FUTURE SUITE
FUTURE SUITE		100	43				44	100	FUTURE SUITE
FUTURE SUITE		2P	45				46	2P	FUTURE SUITE
		100	47				48	100	
			49				50		
			51				52		
			53				54		
			55				56		
			57				58		
			59				60		

EQUIPMENT SCHEDULE									
NO.	MECH. REF.	DESCRIPTION	LOAD	VOLT	ϕ	CCT. NO.	BKR. SIZE	FEEDER	NOTE
1		INDOOR UNIT		120	1	L4	1P-15	2#12	
2		OUTDOOR UNIT		208	1	L6,8	2P-30	2#10	

LUMINAIRE SCHEDULE							
TYPE	LUMINAIRE			LAMP (LED)			SEE NOTE
	MANUFACTURER	CATALOGUE NO.	VOLT	LUMENS	POWER(W)	COLOUR(K)	
A	UTECHNOLOGY	UT-LLS-4FT	120	5200	40	3500	

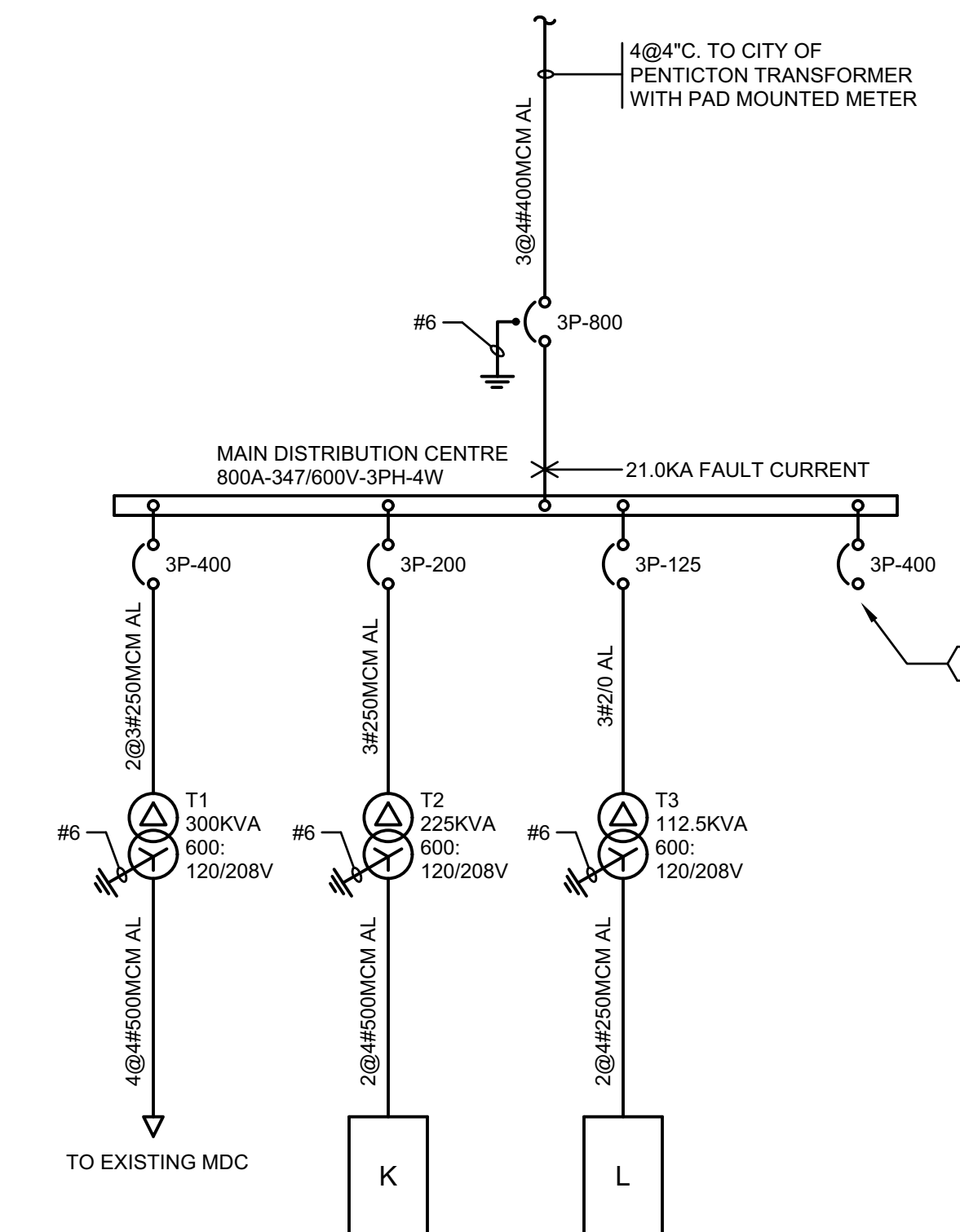


MAIN DISTRIBUTION CENTRE - DETAIL
N T S

2
E - 2

LOAD		TRIP AMP	BR. NO.	BUS			BR. NO.	TRIP AMP	LOAD
				A	B	C			
LIGHTING		15	1				2	20	RECEPTACLE
			3				4	15	DUCTLESS SPLIT INDOOR UNIT
			5				6	2P	DUCTLESS SPLIT OUTDOOR UNIT
			7				8	30	
			9				10		
			11				12		
			13				14		
			15				16		
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			57				58		
			59				60		

Schedule 'A'
DP PL2025-10077



SINGLE LINE DIAGRAM
N T S

SINGLE LINE DIAGRAM REFERENCE NOTES
① PROVIDE BREAKER FOR FUTURE.

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FALCON ENGINEERING
INGENUITY DELIVERED
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Permit To Practice 1001295

project
PARC Retirement Athens Creek Service Upgrade
170 Warren Ave West
Penticton, BC, V2A 8R6

drawing title
SCHEDULES & DETAILS

date	OCT 2025	dr. by	EP/GW
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		rev. by	

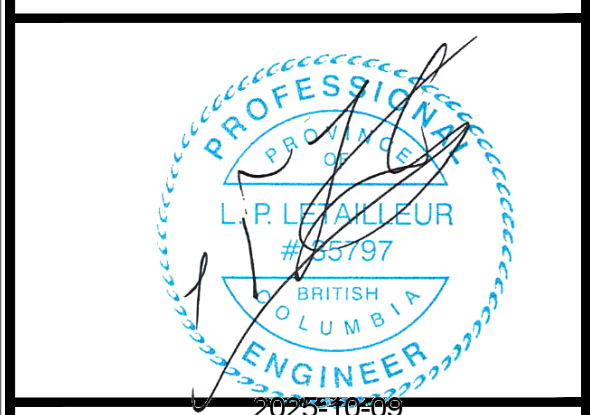
drawing no.
E - 3 OF 4

S P E C I F I C A T I O N

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no.	date	separate issues/revisions



project
**PARC Retirement
 Athens Creek
 Service Upgrade**
 170 Warren Ave West
 Penticton, BC, V2A 8R6

drawing title
SPECIFICATION

date	OCT 2025	dr. by	EP/GW
scale	AS NOTED	des. by	MM
job no.	25076.001	eor	LL
		rev. by	

drawing no.
E - 4 OF 4

1. GENERAL
 1. Supply all labour, equipment, and materials necessary to install complete and operational, the electrical systems described herein and shown on the Drawings. The requirements of this Section are in addition to those contained in the General Conditions and other portions of the Contract Documents.
 2. Where the term "Provide" is used it shall be understood to include labour, materials and services necessary to supply and install items or work referred to.
 3. Change Notice / Change Order pricing shall be broken down to indicate labour and material pricing for each item covered by the Change.
2. DRAWINGS AND SPECIFICATIONS
 1. It is the intent of these Drawings and Specifications to provide for an electrical installation complete and in operating condition. The responsibility for supplying and installing all material necessary to accomplish this, except where specifically noted that such work or materials is not included, shall be part of this Section.
3. CODES, PERMITS AND FEES
 1. The complete installation shall be in accordance with the current edition of the Canadian Electrical Code (as amended by the Authority Having Jurisdiction), and the bylaws of the city or municipal electrical energy inspection department whose authority covers the area in which the work is being done.
 2. Obtain and pay for all permits and licenses required to execute the work.
4. SUBSTITUTIONS
 1. Where materials, equipment and apparatus or other products are specified by the manufacturer's name, other manufacturers may be substituted upon obtaining written approval of the Engineer three days prior to opening of bids. Submit list of proposed equivalent products to the Engineer via email in PDF format.
 2. Where materials, equipment and apparatus or other products are noted as being "equal to" the specified manufacturer, products of equal or superior quality by other manufacturers may be substituted without approval of the Engineer.
 3. Ensure that space requirements are met if using service and distribution equipment by alternate manufacturers.
 4. Service and distribution equipment by alternate manufacturers that requires redesign of electrical room(s) will not be accepted. Engineer's costs caused by failure to comply with this will be charged to the Electrical Contractor.
5. MATERIALS
 1. All materials supplied shall be new and of the quality indicated in the Specifications and shall conform to the standards of the CSA and the ULC and approved by these agencies where applicable.
 2. In the event that a material specified does not bear CSA and ULC approval, obtain the approval of the local inspection authority, pay all charges levied by the inspection authority and make any modifications required, at no additional expense to the Owner.
 3. Ensure that service entrance equipment bears evidence of "suitable for service entrance".
6. EQUIPMENT LOCATIONS
 1. Consult with the Owner and all other subtrades involved to confirm the locations of the various outlets and equipment and cooperate fully to ensure that no conflict arises during the installation.
 2. Particular care shall be taken that equipment, outlets, junction boxes or pullboxes will not be obstructed by other structure, equipment, pipes or ducts installed under this general contract by other trades.
 3. No extra charge for materials and labour shall be added to the Contract for outlets moved within 10 feet from the location shown on the plans prior to rough-in.
7. GUARANTEES
 1. Guarantee all work for one year, following final acceptance. This guarantee shall include all problems caused by improper installation or equipment failure.
8. SITE EXAMINATION
 1. Examine the site of work and become familiar with all features and characteristics affecting this work.
 2. No additional compensation will be given for extra work due to existing conditions, which such examination should have disclosed.
 3. Report to the Engineer any unsatisfactory conditions, which may adversely affect the proper completion of this work.
9. RENOVATIONS IN EXISTING BUILDING
 1. Remove all existing luminaires, feeders, outlet boxes, switches, receptacles, etc. not required for the renovated layout shown. All equipment removed and not reused shall become the property of the Owner. Unless otherwise noted, all equipment installed in renovated areas shall be new. All wiring shall be installed concealed.
 2. Supply and install new breakers where required in existing panels to pick up additional circuits indicated on the drawings. Existing breakers may be reused in new and existing panels wherever possible provided the breakers are in good condition and meet series rating of new and existing panels.
 3. All existing luminaires that are relocated shall be removed, checked, serviced, and cleaned prior to reinstallation.
 4. In areas undergoing seismic upgrading requiring removal and replacement of wall covering, remove existing devices and extend circuitry, provide extension rings and reinstall devices as required.
 5. Existing outlets within 50" (1.5m) of the location of the devices shown on the drawings may be used for those devices. Provide blank cover plates for all existing outlets not reused.

10. SHOP DRAWINGS
 1. Prior to delivery of any products to the job site and sufficiently in advance to allow ample time for checking, submit Shop Drawings in PDF format for review of requirements.
 2. Show details, dimensions, construction, size, arrangement, operating clearances, performance characteristics and capacities of products and parts of the work.
 3. Manufacture of products shall conform to reviewed Shop Drawings.
 4. Where applicable include wiring, single line and schematic diagrams.
 5. Include wiring drawings or diagrams showing interconnection with work of other Sections.
 6. Keep one complete set of Electrical Shop Drawings at the job site during construction.
 7. Review the shop drawings for all other disciplines requiring electrical coordination or connections prior to rough-in and advise the engineer of any discrepancies relating to the electrical design.
11. PROJECT RECORD DRAWINGS
 1. Before commencing work, obtain electronic copies of all drawings pertinent to the work. Daily or weekly as necessary, record in contrasting colour, all changes, alterations, or additions in runs of conduit, numbers and location of panels, luminaires and devices that may occur during progress of the work.
 2. At the conclusion of the job, forward the marked-up electronic drawings to the Engineer for updating the original Autocad/Revit documents. Allow \$400, plus GST where applicable, in bid price to cover this work. Note that changes by Change Order or Site Instruction are not included in this allowance. Include allowance in Change Order pricing as applicable to cover this work.
12. MAINTENANCE MANUALS
 1. Before requesting final certificate, submit PDF format copies of the maintenance manual.
 2. Include in the manual's information based on the following requirements:
 1. Operation and maintenance instructions to be sufficiently detailed with respect to design elements, construction features, component function, operation procedures/sequences and maintenance requirements to permit effective operation, maintenance, repair, modification, extension and expansion of any portion or feature of the installation.
 2. Technical data to be in form of approved Shop Drawings, supplemented by bulletins, technical descriptions of items, and parts lists. Advertising or sales literature will not be acceptable.
 3. Provide wiring and schematic diagrams and performance curves where necessary.
 4. Include names and addresses of nearest supplier for all items included in the maintenance manuals.
 5. Include copies of the manufacturer's published literature, certified performance data, shop and "as-built" drawings and parts lists.
 6. Provide manual and seminar with Owner's forces to ensure proper operation of building prior to Substantial Performance.
13. ELECTRICAL SERVICE
 1. Provide conduit from the pad mount transformer to the power utility point of connection. The power utility shall install primary cables and make primary and secondary terminations at the pad mounted transformer. Electrical Contractor shall provide conduit and wiring from the pad mounted transformer to the main breaker.
 2. Primary and secondary service conduits shall be DB2.
 3. General Contractor shall provide trenching, sand bed for conduit, and backfill.
 4. Provide concrete pad, protective bollards and grounding for pad mounted transformer in accordance with utility standards.
 5. Provide an adequate drainage system for the service entrance conduits in accordance with code and utility standards.
 6. Confirm exact responsibilities and division of work with the power utility.
 7. Utility company charges will be paid by the Owner directly.
14. DISTRIBUTION
 1. Main distribution centre shall be equal to Siemens SMP series service entrance switchboard complete with main breaker to meet series rating and bolt-on sub-service breakers. Provide complete commissioning and circuit breaker settings.
 2. 120/208V panels shall be equal to Siemens P1 complete with breakers to meet series rating and locking doors.
 3. 347/600V panels shall be equal to Siemens P2 complete with breakers to meet series rating and locking door.
 3. Provide 3" (75mm) concrete housekeeping pad under all floor mounted electrical equipment in main electrical room.
 4. Short Circuit Ratings:
 1. All equipment must be either fully rated or integrated equipment (series) rated with the upstream protective device.
 2. Labelling of circuit breakers forming part of an approved series rated combination where necessary to confirm protection of downstream breaker shall be applied as per CEC 14-014 to indicate:
 1. Tested IER KA Rating
 2. Specific upstream protective device
 3. Permissible branch devices
 4. Panelboard designation
 5. Voltage
 3. Available fault current at main breaker for application of series rating analysis shall be as noted on one-line diagram. Where fault current is unknown at time of tender and not indicated, contact the engineer prior to submitting tender. Breaker type and interrupting capacities shall be selected to provide approved series rated combinations based on the calculated fault current at each device in the system.
 5. Transformers shall be ventilated, 150°C maximum temperature rise, complete with 4 - 2.5% taps, 2FCAN and 2FCBN, CSA certified, UL Listed and built current to NRCAN efficiency standards. Mount on vibration absorbing pads and make terminations with flexible cable or conduit. Transformers shall be bottom or side entry only.
 6. Provide sprinkler proof enclosures and drip hoods for all surface mounted ventilated electrical equipment.

15. GROUNDING AND BONDING
 1. Provide an approved grounding electrode and Install grounding conductors from the main distribution centre as indicated on the Drawings.
 2. Provide bonding to all metal equipment, metallic waste and potable water systems, gas piping and building structure as required by Code.
 3. Ground conductor ratings for step-down transformer primary feeders shall be based on the secondary ampacity and sized in accordance with the local electrical code.
16. WIRING METHODS
 1. All wiring shall be copper unless indicated otherwise on the drawings.
 2. Feeder conductors from service equipment to panel boards to be sized for maximum voltage drop of 2%.
 3. Feeders shall be 90C rated wire in EMT or PVC/DB2 below grade. Teck 90, ACWU 90, and AC-90 may be used for concealed wiring where permitted by Code, unless specifically noted otherwise.
 4. Provide ground wire in all conduits in concrete slabs and in all buried conduits as required by Code.
17. FIRE STOPPING
 1. Fire stopping of electrical raceways, cables, wires and outlet boxes is to be included by the electrical contractor unless transfer of this responsibility to a separate trade contractor is approved in writing by the engineer.
 2. The electrical contractor shall utilize qualified personnel who have been trained by the manufacturer of the fire stopping materials in their use, handling and installation.
 3. Submit shop drawings for all fire stopping assemblies required to be used on the project for approval by the engineer prior to installation.
 4. Advise the engineer of the schedule for fire stopping installations with sufficient time for the engineer to perform required field reviews.
 5. Install firestop materials in accordance with ULC Fire Resistance Directory or UL Products Certified for Canada (cUL) Directory.
 6. Comply with manufacturer's instructions for installation of through-penetration materials.
 7. Seal all holes or voids made by penetrations to ensure an air and water-resistant seal.
 8. Protect materials from damage on surfaces subjected to traffic.
 9. Wiring penetrating any horizontal or vertical assembly required to have a fire-resistance rating shall be in accordance with the local building code. Raceways or cables shall be cast in place or tightly fitted, and fire stopped where necessary to maintain fire rating, as follows:
 1. For penetrations through a Fire Separation or membrane required to have a Fire Resistance rating, provide a firestop system with an "F" Rating as determined by ULC or cUL not less than the fire protection rating required for Closures in the fire separation.
 2. For penetrations through a Fire Wall, a horizontal Fire Separation for a Storage Garage considered as a separate building, or a Horizontal Service Space, provide a firestop system with an "FT" Rating as determined by ULC or cUL not less than the fire protection rating required for the fire separation.
 3. Combustible cables and raceways penetrating fire separations shall be max. 25 mm diameter. Single conductor metal sheathed cables with combustible jacketing may exceed 25mm if spaced a minimum of 300mm apart. Raceways exceeding 25mm diameter penetrating fire separations shall be non-combustible.
 10. Non-Combustible outlet boxes of 2 hour rated combustible outlet boxes with approved fire stopping putty pads applied, may be installed in Fire Separations provided the opening into the box does not exceed 0.016m² (25sq.in.) and conformance with BC Building Code sentence 3.1.9.4(2), is maintained (aggregate opening are less than 0.065m² (100.75 sq in) in any 9.3m 2 (10.75 sq ft) of surface area). Where these dimensions cannot be maintained submit fire stopping details specific to the application as noted above.
 11. Outlet boxes on opposite sides of a vertical fire separation shall be non-combustible and separated 24" (600mm) horizontally or with a Fire Block.
18. BASIC METHODS
 1. Install wiring continuously within raceways or cables; splices will be permitted only at outlets and junction boxes. Sufficient slack shall be left at these points to permit proper connection of luminaires, devices, equipment, etc.
 2. All wiring shall be run concealed in ceiling, walls or floor wherever possible. Any exposed conduits or cables shall be run parallel to or at right angles to building lines and in a neat manner.
 3. Install pull boxes in the locations shown on the Drawings and as further required by the Canadian Electrical Code. Pull boxes shall be located in inconspicuous, accessible spaces.
 4. Provide conduit markers flush with grade or floor slab indicating the routing and depth of underground primary service conduits and cables.
 5. Where devices are shown above fixed millwork, mount outlets 6" (150mm) above counter or backsplash. Coordinate with millwork installer and ensure that outlets do not conflict with backsplash.
19. SEISMIC RESTRAINT
 1. Provide a complete system of structural supports and bracing to all electrical equipment to comply with Part 4, Structural Design, of the local building code.
 2. Where drilling of the structure is required for anchorage requirements, the drilling shall be subject to the approval of the Structural Engineer.
 3. Provide all required seismic bracing, supports, bolts, washers, nuts, etc. for conduits and conduit supports, cable tray and cable tray supports, Teck cable, etc.
20. SUBSTANTIAL COMPLETION
 1. Prior to requesting substantial completion inspection, the following items must be complete:
 1. Certificate of Acceptance from Electrical Inspection Department must be submitted.
 2. Project Record Drawings must be submitted to Engineer for review and updating.
 3. Maintenance manuals must be submitted to Engineer for review.
 4. All electrical equipment not located in service rooms must have covers and/or doors installed complete.
 5. Any devices not installed must have the wiring made safe and terminated in an outlet box complete with cover.
 6. Continuity of fire separations at electrical penetrations must be complete.
 7. All seismic restraint requirements must be complete.
 2. If any of the above items have not been completed at the time of substantial completion inspection, and the letter of "Assurance of Professional Field Review and Compliance" cannot be issued, any costs for subsequent inspections will be charged to the Electrical Contractor.