

**Date:** January 20, 2026

**File No:** RMS/680

Westminster Ave W

**To:** Anthony Haddad, City Manager

**From:** Yvonne Kent, Planner II

**Address:** 680 Westminster Ave W

**Subject:** **Zoning Amendment Bylaw No. 2026-06 and Development Permit PL2025-10092**

## Staff Recommendation

THAT Council give first, second, and third reading to "Zoning Amendment Bylaw No. 2026-06, for Lot 2 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 3520, located at 680 Westminster Ave W, a bylaw to rezone the subject property from C2 – Neighbourhood Commercial to RM2 – Low Density Multiple Housing and add the site-specific provision, within the RM2 – Low Density Multiple Housing zone as follows: "Section 10.4.5.13, in the case of Lot 2 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 3520, located at 680 Westminster Avenue W, the maximum density shall be 0.94 FAR";

AND THAT Council, subject to adoption of "Zoning Amendment Bylaw No. 2026-06", approve "Development Permit PL2025-10092", for Lot 2 District Lot 2 Group 7 Similkameen Division Yale (Formerly Yale-Lytton) District Plan 3520, located at 680 Westminster Ave W, a permit to approve the form and character of the proposed development and vary the following section of Zoning Bylaw No. 2024-22:

1. Section 5.2 to reduce the landscape buffer requirement.

## Strategic priority objective

**Livable & Accessible:** The City of Penticton will proactively plan for deliberate growth, focusing on creating an inclusive, healthy, and vibrant community.

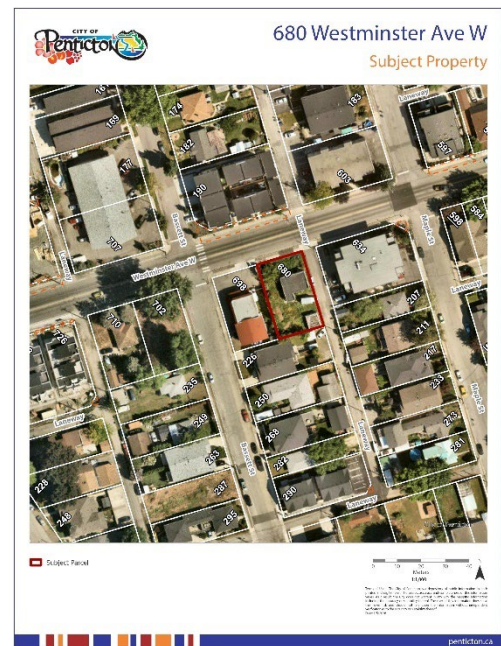


Figure 1 - Subject Property Location

## Proposal

The applicant is proposing to construct two three-storey duplexes, one with secondary suites, for a total of 6 dwelling units. The development would also consist of shared amenity space, and bike and vehicle parking.

## Background

The property is located on the south side of Westminster Ave W, is 0.1 acres in size, and is currently vacant. A single detached dwelling on the property was demolished in 2025. The property is zoned CM2 - Neighbourhood Commercial in the Zoning Bylaw, and designated High Density Residential in the Official Community Plan (OCP). The surrounding area consists of multifamily residential to the north and east, a duplex to the south, and a convenience store (Foodland Market) to the west.

## Climate Impact

Council adopted the Community Climate Action Plan (CCAP) in 2021. The proposed development is consistent with the following aspects of the CCAP:

- **Shift Beyond the Car:** enable walking, cycling and other forms of zero emission mobility
  - The proposal includes both long-term and short-term bicycle parking, is within a 20 minute of walk of amenities such as the Community Centre, Queen's Park Elementary, and downtown, and is on the number 4 bus route which serves Okanagan College, Penticton Plaza, and Cherry Lane Mall.
- **Electrify Passenger Transport:** Enable charging at home and work
  - The proposal includes EV ready stalls.

## Technical Review

The application was reviewed by the City's Technical Planning Committee (TPC). Requirements for building permit and the payment of Development Cost Charges (DCC's) were identified and communicated to the applicant.

## Financial implication

The applicant is responsible for all development costs, including any service upgrades and the payment of Development Cost Charges (DCC's) to help offset the added demand on City services from the proposed development.

## Development Statistics

The following table outlines the proposed development statistics on the plans submitted with the development application:

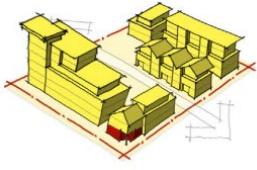
	<b>Zone Requirement (RM2 – Low Density Multiple Housing)</b>	<b>Provided on Plans</b>
<b>Minimum Lot Width*:</b>	18 m	19 m
<b>Minimum Lot Area*:</b>	540 m <sup>2</sup>	631 m <sup>2</sup>
<b>Maximum Lot Coverage:</b>	40%	40%
<b>Maximum Density:</b>	0.8 FAR	0.94 FAR site-specific requested
<b>Maximum Height:</b>	12 m	9.8 m
<b>Vehicle Parking:</b>	Total Vehicle Spaces Required: 1 per dwelling unit (except suites): 4 spaces	Total Vehicle Spaces Provided: 4 spaces
<b>Bicycle Parking:</b>	Total Class 1 Spaces Required: 0.5 per dwelling unit (3 spaces)  Total Class 2 Spaces Required: 0.1 per dwelling unit (1 space)	Total Class 1 Provided: 3 spaces  Total Class 2 Provided: 1 space
<b>Required Setbacks:</b>		
Front Yard:	3.0 m	3.0 m
Side Yard (east):	3.0 m	3.0 m
Side Yard (west):	3.0 m	3.0 m
Rear Yard (south):	6.0 m	6.0 m
<b>Amenity Space:</b>	20m <sup>2</sup> /unit	20m <sup>2</sup> /unit
<b>Other Regulations</b>	In cases where a dwelling unit faces the back of the lot, a clear, unobstructed and maintained access from the front of the property to the back unit at least 1.2 m in width, must be provided.	N/A
<b>Landscape Buffers:</b>	3.0 m buffer of trees and shrubs along Westminster Avenue West and 226 Bassett Street	Reduced landscape buffer along 226 Bassett Street Variance requested
<b>Other Information:</b>	*Lot width and lot area are only applicable at the time of subdivision.	

## Analysis

### Zoning Bylaw Amendment

#### Official Community Plan

The property is designated “High Density Residential” within the Official Community Plan (OCP) Future Land Use Map:

Land Use	Description	Building Type(s)	Uses	Height / Density
High Density Residential 	Higher-density multifamily residential neighbourhoods consisting of townhouses and apartments in higher-amenity areas	<ul style="list-style-type: none"> <li>Cluster housing</li> <li>Townhouses</li> <li>Low-rise and mid-rise apartment buildings</li> <li>Small-scale neighbourhood commercial building (e.g., corner store, coffee shop, childcare)</li> </ul>	<ul style="list-style-type: none"> <li>Residential</li> <li>Limited retail/service</li> </ul>	<ul style="list-style-type: none"> <li>Up to 6 storeys</li> </ul>
<b>Site-Specific High Density Residential Policy Statement:</b> 556 to 736 Lakeshore Drive West: Development up to a maximum of four storeys can be considered subject to assessment of urban design impacts on Lakeshore Drive and the waterfront, Lakawanna Park and neighbouring properties on Churchill Avenue.				

The OCP land use designation permits residential development up to 6 storeys. The proposed RM2 – Low Density Multiple Housing zone would allow residential development consistent with this designation.

The site specific amendment to increase the Floor Area Ratio (FAR) from 0.8 to 0.94 also aligns with the High Density Residential Designation. Despite the increased FAR, the proposed development consists of low rise duplexes which remains consistent with the intent of the land use designation and does not exceed the permitted density (6 storeys).

#### Zoning Bylaw

The property is currently zoned C2 – Neighbourhood Commercial. The C2 zone allows for a limited range of neighbourhood convenience services (ex: convenience store) and one dwelling unit. The applicant has requested a zoning bylaw amendment to the RM2 – Low Density Multiple Housing zone with a site-specific amendment to increase the maximum FAR to 0.94. Despite the increased FAR the development still meets regulations in the RM2 zone, such as lot coverage and setbacks.

#### Support Zoning Bylaw Amendment

The proposed rezoning to RM2 with site specific amendment for larger FAR aligns with the High Density Residential Land Use Designation.

## **Development Permit**

### *Development Permit*

The property is located within the General and Multifamily Residential Development Permit Areas in the OCP. Staff have completed a development permit checklist (Attachment D). The proposed development meets all applicable development permit guidelines except for the following:

- In an effort to promote community and social sustainability, multifamily developments should exhibit a preference for courtyard forms with views into them from units (see Figure 5-11).

The project does not include a courtyard due to site constraints. However, design elements such as the clustered front entries, shared walkways and bike shelter, and shared amenity space, help promote resident interaction.

The development has been designed to meet the majority of design guidelines given its architectural features, use of drought tolerant landscaping, and pedestrian oriented design. Staff recommend Council approve the Development Permit.

The following variance is also requested as part of the development permit, which staff recommend approval of:

#### Landscape Buffers

As per s.5.2 of the Zoning Bylaw, a 3.0 m landscape buffer consisting of shrubs and trees is required adjacent to 226 Bassett Street and along Warren Avenue West. The landscape buffer requirement is to mask or separate uses, especially different uses or those of varying densities.

As per the OCP, minor variances to landscape buffer requirements may be considered in cases where the proposed building locations make establishment of a buffer difficult or impossible or where trees will not thrive. In cases where the buffer is reduced, compensatory planting elsewhere on site or in the adjacent public realm is required. In the case of the subject property, the landscape buffer adjacent to 2266 Basset has been reduced from 3.0 m to approx. 1.5 m. This is to make room for bicycle parking and garbage and recycle area, and amenity space, in the 3.0 m rear yard setback. Despite the reduction in width, the landscape buffer maintains the required number of trees and shrubs. In addition, instead of the 1.2 m high screen (fence) required the applicant has proposed a 1.8 m high fence which provides additional separation from the neighbouring property. Lastly, the neighbouring property includes a similar land use (duplex) which is seen as compatible with the proposed duplexes, one with suites, on the subject property. Compensatory planting is provided elsewhere on the site in the form of shrubs and trees on the east and west sides of the property.

**Alternate recommendations**

Council may wish to deny the rezoning and development permit with variance. This is not recommended by staff, as the rezoning is consistent with the OCP, the development permit is in accordance with applicable development permit guidelines, and the variance is considered appropriate in the circumstances.

1. THAT Council deny Zoning Amendment Bylaw No. 2026-06 and Development Permit PL2025-10092.

**Attachments**

- Attachment A – Zoning Map
- Attachment B – Official Community Plan Map
- Attachment C – Photos of Property
- Attachment D – Development Permit Checklist (staff)
- Attachment E – Letter of Intent (applicant)
- Attachment F – Draft Development Permit PL2025-10092
- Attachment G – Zoning Amendment Bylaw No. 2026-06

Respectfully submitted,

Yvonne Kent  
Planner II

Concurrence

<p>GM Development Services</p> <p><i>BL</i></p>	<p>GM of Infrastructure</p> <p><i>KD</i></p>	<p>City Manager</p> <p><i>SH</i></p>
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