



Development Permit

Permit Number: DP PL2025-10060

Property Owner
Property Address

Conditions of Permit

1. This permit is issued subject to compliance with all of the bylaws of the City, except as specifically varied or supplemented by this Permit.
2. This permit applies to:
 - Legal: Lot 2 District Lot 366 Similkameen Division Yale District Plan 7531
Civic: 251 Comox Street
PID: 004-032-373
 - Legal: Lot 1 District Lot 366 Similkameen Division Yale District Plan 7247
Civic: 998 Burnaby Avenue
PID: 010-001-018
 - Legal: Lot 2 District Lot 366 Similkameen Division Yale District Plan 7247
Civic: 997 Westminster Avenue W
PID: 010-001-026
3. This permit has been issued in accordance with Section 489 of the *Local Government Act*, to permit the construction of an apartment building and a private parking lot, as shown in the plans attached in Schedule 'A', and vary the following sections of Zoning Bylaw No. 2024-22:
 - a. Section 4.9 to permit a non-cantilevered architectural projection to extend 0.6 m into the front yard;
 - b. Section 5.2 to reduce the width of landscape buffers along Burnaby Avenue to 1.2 m on property; and
 - c. Section 10.5.4.1 to increase the maximum hard surfacing from 60% to 84% (251 Comox Street) and from 60% to 74% (997 Westminister Avenue W and 998 Burnaby Avenue).
4. In accordance with Section 502 of the *Local Government Act* a deposit or irrevocable letter of credit, in the amount of \$_____ must be deposited before issuance of this permit. The City may apply all or part of the above-noted security in accordance with Section 502 of the *Local Government Act*, to

undertake works or other activities required to:

- a. correct an unsafe condition that has resulted from a contravention of this permit,
 - b. satisfy the landscaping requirements of this permit as shown in Schedule 'A' or otherwise required by this permit, or
 - c. repair damage to the natural environment that has resulted from a contravention of this permit.
5. The holder of this permit shall be eligible for a refund of the security described under Condition 4 only if:
- a. The permit has lapsed as described under Condition 8, or
 - b. A completion certificate has been issued by the Building Inspection Department and the Director of Development Services is satisfied that the conditions of this permit have been met.
6. Upon completion of the development authorized by this permit, an application for release of securities (Landscape Inspection & Refund Request) must be submitted to the Planning Department. Staff may carry out inspections of the development to ensure the conditions of this permit have been met. Inspection fees may be withheld from the security in accordance with the City of Penticton Fees and Charges Bylaw (as amended from time to time).

General Conditions

7. In accordance with Section 501(2) of the *Local Government Act*, the lands subject to this permit shall be developed in general accordance with this permit and the plans attached as Schedule 'A'.
8. In accordance with Section 504 of the *Local Government Act*, if the holder of this permit does not commence the development authorized by this permit within 2 years of the date of this permit, this permit shall lapse.
9. If this permit has not been issued within 3 months of approval, the permit shall be deemed to have been refused, and the file will be closed.
- 10. This permit is not a building permit. In order to proceed with this development, the holder of this permit must hold a valid building permit issued by the Building Inspection Department.**
11. This permit does not constitute any other municipal, provincial or federal approval. The holder of this permit is responsible to obtain any additional municipal, federal, or provincial approvals prior to commencing the development authorized by this permit.
12. This permit does not include off-site infrastructure costs that may be required at the building permit stage, such as Development Cost Charges (DCC's), road improvements and electrical servicing. There may be substantial infrastructure and servicing costs payable at a later date. For more information on servicing and infrastructure requirements please contact the Development Engineering Department at (250) 490-2501. For more information on electrical servicing costs, please contact the Electric Utility at (250) 490-2535.

Authorized by City Council, the ____ day of _____, 2026.

Angela Collison
Corporate Officer

Security received in the amount of _____ this ____ day of _____, 2026.

Issued this ____ day of _____, 2026.

PENTICTON MULTI-FAMILY



NOTE: IMAGES SHOWN ON THIS PAGE ARE REPRESENTATIONS ONLY. EXACT CONFIGURATION MAY VARY. ALL BUILDING AND SITE DESIGN SUBJECT TO APPROVAL BY THE APPROVING AUTHORITY.

ISSUED FOR: TPC RESPONSE 2

2026-02-04

DRAWING INDEX

ARCHITECTURAL	
DP00.00	COVER SHEET
DP10.01	CONTEXT PLAN & PROJECT STATISTICS
DP10.02	PROPOSED SITE PLAN
DP10.03	BIKE STORAGE & DETAIL
DP20.01	MAIN FLOOR PLAN
DP20.02	TYPICAL FLOOR PLAN (LEVEL 2 AND 4)
DP20.03	TYPICAL FLOOR PLAN (LEVEL 3 AND 5)
DP20.04	6TH FLOOR PLAN
DP20.10	ROOF PLAN
DP40.01	EXTERIOR ELEVATIONS
DP40.02	EXTERIOR ELEVATIONS

STRUCTURAL	
S200	FOUNDATION PLAN

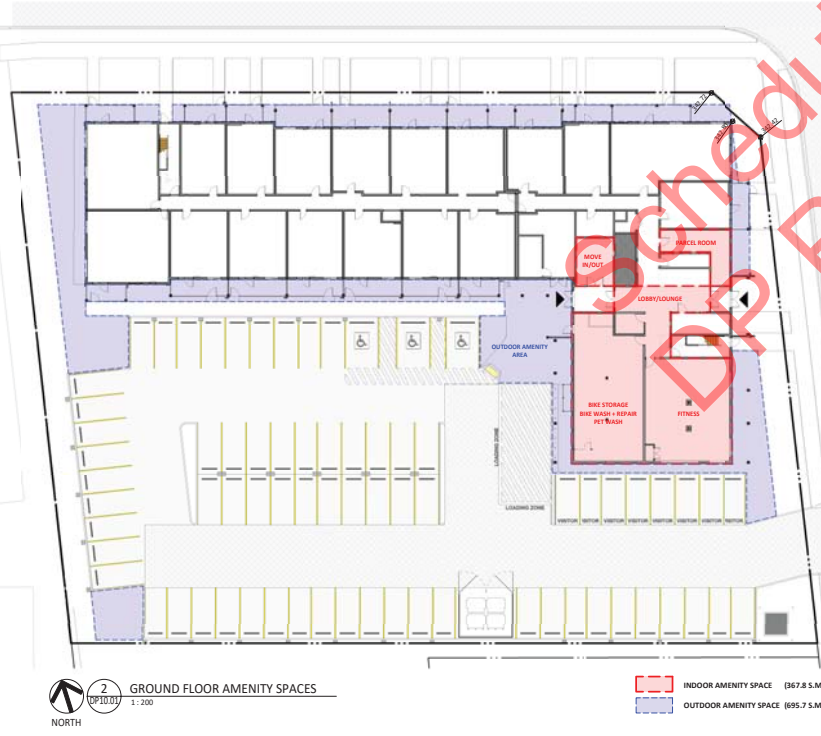
CIVIL	
C1.0	COMPOSITE UTILITY PLAN

LANDSCAPE	
L1.01	BYLAW AND DIMENSION PLAN
L1.03	LANDSCAPE PLAN

GGA-ARCHITECTURE
 350 140 10 Avenue SE Calgary, AB T2G 0R1
 Phone: 403.233.2000 Fax: 403.264.2077

PENTICTON MULTI-RESIDENTIAL DEVELOPMENT PERMIT:
 251 Cormack Street
 997 Westmount

PROJECT NUMBER:
 23050



2 GROUND FLOOR AMENITY SPACES
1:200

INDOOR AMENITY SPACE (367.8 S.M.)
OUTDOOR AMENITY SPACE (695.7 S.M.)

BYLAW ANALYSIS (WEST SITE)

PROPERTY DESCRIPTION	LEGAL DESCRIPTION
MUNICIPAL ADDRESS	251 COMOX ST
COMMUNITY	NORTH DISTRICT IN NORTH GATEWAY PLAN
ZONING	CURRENT: C7 - SERVICE COMMERCIAL PROPOSED: RM3 - MEDIUM DENSITY MULTIPLE HOUSING

SITE ANALYSIS	REQUIRED	PROVIDED
SITE AREA	457,315 S.F.	/ 15,325 S.M.
TOTAL GROSS FLOOR AREA	1107,030 S.F.	/ 49,943 S.M.
TOTAL BUILDING FOOTPRINT	117,927 S.F.	/ 41,665 S.M.
BUILDING COVERAGE	31.28 %	
FLOOR AREA RATIO	1.69	
DWELLING UNITS	147 UNITS	

ZONING BYLAW COMPLIANCE (NO. 2024-22)	REQUIRED	PROVIDED
10.5.2 SUBDIVISION AND DEVELOPMENT REGULATIONS		
1. MIN. LOT WIDTH	25 M	178.9 M
2. MIN. LOT AREA	1,400 S.M.	15,325 S.M.
3. MAX. LOT COVERAGE	50 %	37.3 %
4. MAX. DENSITY	1.6 FAR	1.69 FAR
5. MAX HEIGHT	24 M	22.4 M
6. FRONT YARD SETBACK	3.0 M	3.0 M
7. INTERIOR SIDE YARD SETBACK	4.5 M	4.0 M
8. EXTERIOR SIDE YARD SETBACK	4.5 M	1.2 M
9. REAR YARD SETBACK	6.0 M	6.0 M
10.5.3 AMENITY SPACE		
1. MIN. AMENITY SPACE AREA (20 S.M. PER EACH DWELLING UNIT)	2,940 S.M.	2,687.5 S.M. (91.4% OF THE REQUIRED)
2. MIN. GROUND FLOOR AMENITY (MIN. 25% OF TOTAL AMENITY SPACE AREA)	735 S.M. (25%)	1,063.5 S.M. (36.1%)
3. MAX. INDOOR AMENITY (MAX. 20% OF TOTAL AMENITY SPACE AREA)	588 S.M. (20%)	551.8 S.M. (18.8%)
10.5.4 OTHER REGULATIONS		
2. MAX. HARD SURFACE AREA (MAX. 60% OF THE LOT AREA)	3,195 S.M. (60%)	4,462.4 S.M. (83.8%)
6.3.2. PARKING LANDSCAPE AREA (2 S.M. PER PARKING AND LOADING)	144 S.M.	153.3 S.M.

PARKING AND LOADING	REQUIRED	PROVIDED
VEHICLE PARKING STALL DIMENSIONS		
STANDARD STALL	5.8M(L) X 2.7M(W)	
ACCESSIBLE STALL	5.8M(L) X 3.7M(W)	
SMALL CAR STALL	5.6M(L) X 2.5M(W)	
DRIVE AISLE WIDTH	6.0M(ONE-WAY) AND 7.0M(TWO-WAY)	
VEHICLE PARKING REQUIREMENTS		
REQUIRED RESIDENTIAL PARKING (1.0 STALLS PER EACH DWELLING UNIT)	MIN. 147 STALLS	
REQUIRED VISITOR PARKING (0.2 STALLS PER EACH DWELLING UNIT)	MIN. 29 STALLS	
PROVIDED RESIDENTIAL PARKING (INCLUDING EAST SITE)	127 STALLS	
PROVIDED VISITOR PARKING (INCLUDING EAST SITE)	8 STALLS	
REQUIRED EV-READY STALLS (INCLUDING EAST SITE)	147 RESIDENTIAL STALLS	
PROVIDED EV-READY STALLS (WEST SITE ONLY)	64 RESIDENTIAL STALLS	
BICYCLE PARKING REQUIREMENTS		
REQUIRED CLASS 1 STALLS (0.5 STALLS PER EACH DWELLING UNIT)	MIN. 74 STALLS REQUIRED	
PROVIDED CLASS 1 STALLS (0.1 STALLS PER EACH DWELLING UNIT)	74 STALLS PROVIDED	
REQUIRED CLASS 2 STALLS	MIN. 15 STALLS REQUIRED	
PROVIDED CLASS 2 STALLS	16 STALLS PROVIDED	

BYLAW ANALYSIS (EAST SITE)

PROPERTY DESCRIPTION	LEGAL DESCRIPTION
MUNICIPAL ADDRESS	998 AND 997 WESTMINSTER AVE W
COMMUNITY	NORTH DISTRICT IN NORTH GATEWAY PLAN
ZONING	CURRENT: C7 - SERVICE COMMERCIAL PROPOSED: RM3 - MEDIUM DENSITY MULTIPLE HOUSING

SITE ANALYSIS	REQUIRED	PROVIDED
SITE AREA	437,405 S.F.	/ 12,546 S.M.
TOTAL GROSS FLOOR AREA	NOT APPLICABLE	
TOTAL BUILDING FOOTPRINT	NOT APPLICABLE	
BUILDING COVERAGE	NOT APPLICABLE	
FLOOR AREA RATIO	NOT APPLICABLE	
DWELLING UNITS	0 UNITS	

ZONING BYLAW COMPLIANCE (NO. 2024-22)	REQUIRED	PROVIDED
10.5.2 SUBDIVISION AND DEVELOPMENT REGULATIONS		
1. MIN. LOT WIDTH	25 M	137.8 M
2. MIN. LOT AREA	1,400 S.M.	12,546 S.M.
3. MAX. LOT COVERAGE	50 %	N/A
4. MAX. DENSITY	1.6 FAR	N/A
5. MAX HEIGHT	24 M	N/A
6. FRONT YARD SETBACK	3.0 M	3.0 M
7. INTERIOR SIDE YARD SETBACK	4.5 M	N/A
8. EXTERIOR SIDE YARD SETBACK	4.5 M	1.2 M AND 4.5 M
9. REAR YARD SETBACK	6.0 M	6.0 M
6.3.2. PARKING LANDSCAPE AREA (2 S.M. PER PARKING AND LOADING)	130 S.M.	250.58 S.M.

PARKING AND LOADING	REQUIRED	PROVIDED
VEHICLE PARKING STALL DIMENSIONS		
STANDARD STALL	5.8M(L) X 2.7M(W)	
ACCESSIBLE STALL	5.8M(L) X 3.7M(W)	
SMALL CAR STALL	5.6M(L) X 2.5M(W)	
DRIVE AISLE WIDTH	6.0M(ONE-WAY) AND 7.0M(TWO-WAY)	
VEHICLE PARKING STALLS	REFER TO WEST SITE BYLAW ANALYSIS	

CALCULATION BREAKDOWN (WEST SITE)

10.5.2.3 LOT COVERAGE	REQUIRED	PROVIDED
LOT AREA	5,325 S.M.	
BUILDING AREA	1,988 S.M.	
LOT COVERAGE (BLDG. AREA / LOT AREA)	37.3 %	
10.5.2.4 FLOOR AREA RATIO		
LOT AREA	5,325 S.M.	
MAIN FLOOR	1,189 S.M.	
TYPICAL FLOOR	1,587 S.M. x 4 FLOORS	
SIXTH FLOOR	1,485 S.M.	
TOTAL FLOOR AREA	9,021 S.M.	
F.A.R (FL. AREA / LOT AREA)	1.69	
10.5.3 AMENITY SPACE		
@/INDOOR AMENITY SPACE (FLOOR 2-6)	184.0 S.M.	
@/INDOOR AMENITY SPACE (GROUND LEVEL)	367.8 S.M.	
@/OUTDOOR AMENITY SPACE (FLOOR 2-6)	1,440.0 S.M.	
@/OUTDOOR AMENITY SPACE (GROUND LEVEL)	695.7 S.M.	
10.5.3.1 TOTAL AMENITY SPACE AREA (@+@+@+@)	2,687.5 S.M.	
10.5.3.2 GROUND FLOOR AMENITY (@+@)	1,063.5 S.M.	
10.5.3.3 INDOOR AMENITY AREA (@+@)	551.8 S.M.	

10.5.4.2 HARD SURFACING CALCULATION	REQUIRED	PROVIDED
REFER TO L1.01		

NOTES:
 * DIMENSION TO FACE OF STUDY INTERIOR PARTITIONS, CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
 * NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
 * VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUMS, REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
 * DO NOT SCALE DRAWINGS.
 * THIS DRAWING SUPERSEDES PREVIOUS ISSUES.

350,140-10 Ave SE
 Calgary, Alberta
 T2G 0R1
 Tel: 403.233.2000
 Fax: 403.264.2077

GGA ARCHITECTURE

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 Project Number: 23050
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 Legal Description: Building Permit No.
 Lot 1: DL366 Plan 7351
 Lot 2: DL366 Plan 7242
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 Fax: 403.264.2077

GGA ARCHITECTURE

Project: 23050
 Project Number: 23050
 251 Comox Street
 997 Westminister Avenue
 Building Permit No.
 Legal Description: Building Permit No.
 Lot 1: DL366 Plan 7351
 Lot 2: DL366 Plan 7242
 Development Permit No. DSP No.

350,140-10 Ave SE
 Calgary, Alberta
 T2G 0R1
 Tel: 403.233.2000
 Fax: 403.264.2077

GGA ARCHITECTURE

Project: 23050
 Project Number: 23050
 251 Comox Street
 997 Westminister Avenue
 Building Permit No.
 Legal Description: Building Permit No.
 Lot 1: DL366 Plan 7351
 Lot 2: DL366 Plan 7242
 Development Permit No. DSP No.

350,140-10 Ave SE
 Calgary, Alberta
 T2G 0R1
 Tel: 403.233.2000
 Fax: 403.264.2077

GGA ARCHITECTURE

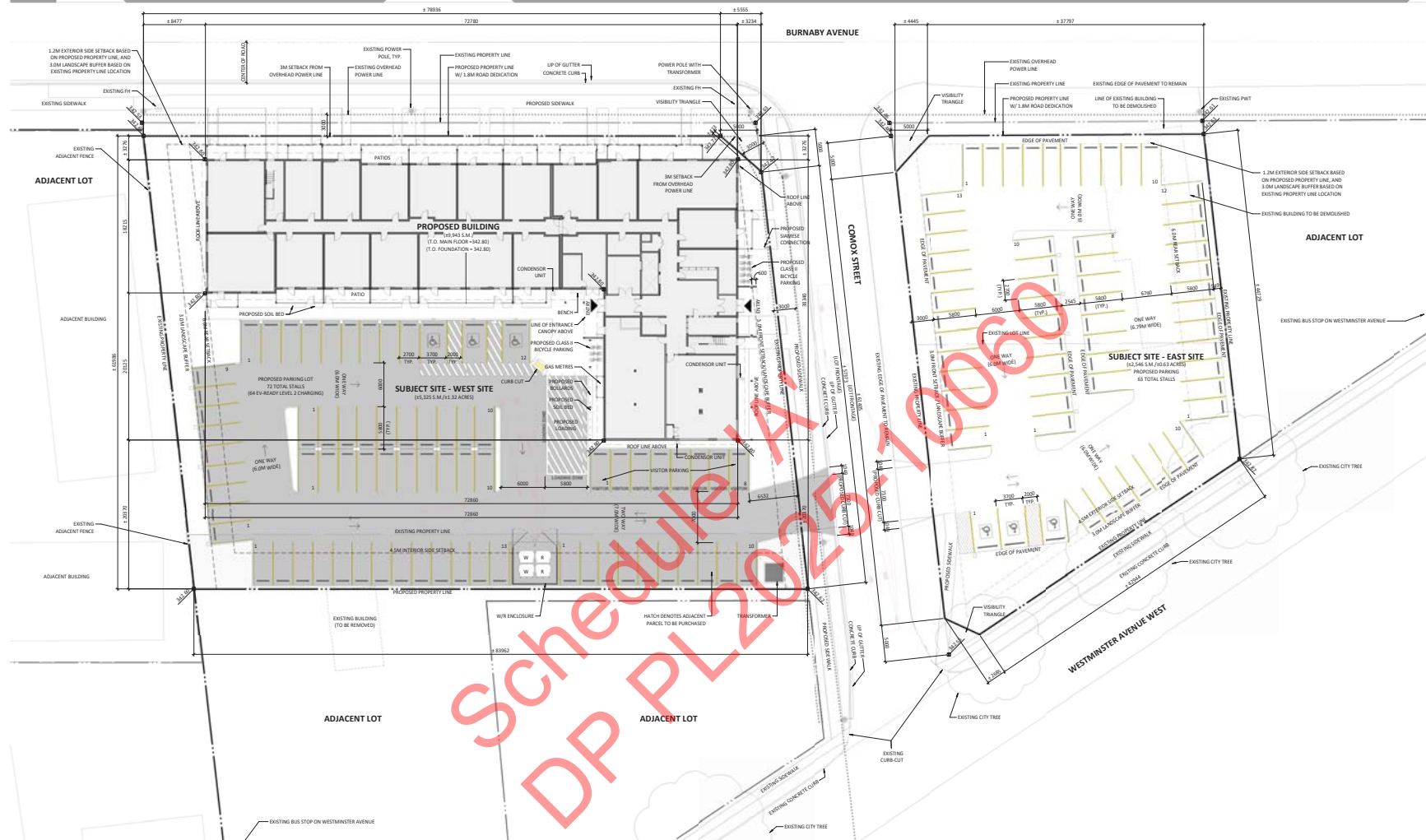
Project: 23050
 Project Number: 23050
 251 Comox Street
 997 Westminister Avenue
 Building Permit No.
 Legal Description: Building Permit No.
 Lot 1: DL366 Plan 7351
 Lot 2: DL366 Plan 7242
 Development Permit No. DSP No.

350,140-10 Ave SE
 Calgary, Alberta
 T2G 0R1
 Tel: 403.233.2000
 Fax: 403.264.2077

GGA ARCHITECTURE

Project: 23050
 Project Number: 23050
 251 Comox Street
 997 Westminister Avenue
 Building Permit No.
 Legal Description: Building Permit No.
 Lot 1: DL366 Plan 7351
 Lot 2: DL366 Plan 7

- NOTES:**
- * DIMENSION TO FACE OF STUD INTERIOR PARTITIONS, CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING, UNLESS NOTED OTHERWISE.
 - * NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
 - * VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUMS, REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
 - * DO NOT SCALE DRAWINGS.
 - * THIS DRAWING SUPERSEDES PREVIOUS ISSUES.
- SPECIFIC NOTES:**
- * ALL EXISTING PROPERTY LINES AND PARCEL AREA REFER TO SURVEY PLAN.
 - * LIGHTING GUIDELINES WILL BE MET AT TIME OF CONSTRUCTION.



Schedule A
 DP PL2025-10060

1 PROPOSED SITE PLAN
 1:200
 NORTH

TFC RESPONSE 2	2026-02-04
TFC RESPONSE 1	2025-12-12
NOV REVIEW	2025-12-11
DEVELOPMENT PERMIT	2025-09-12

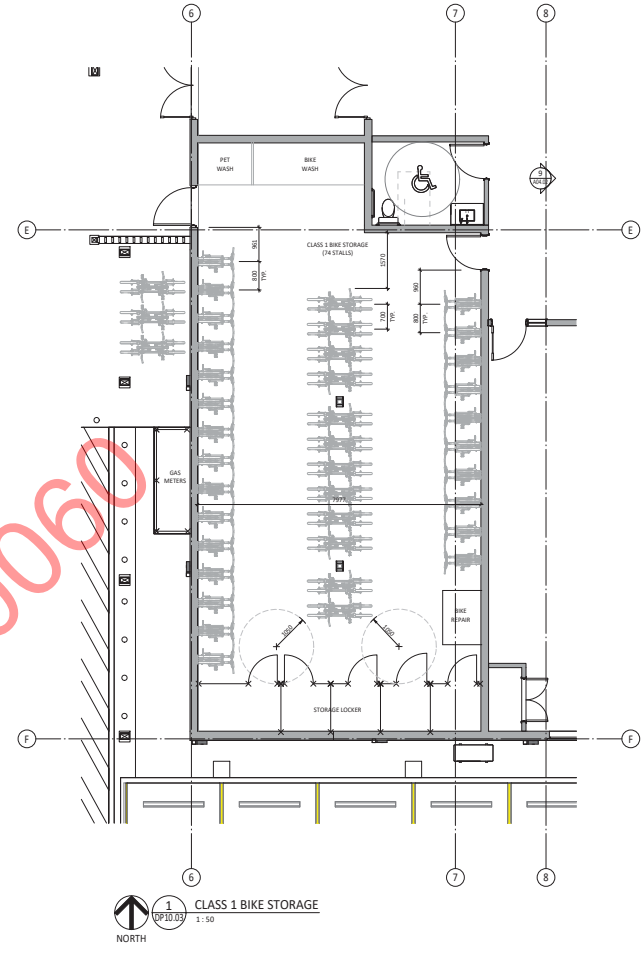
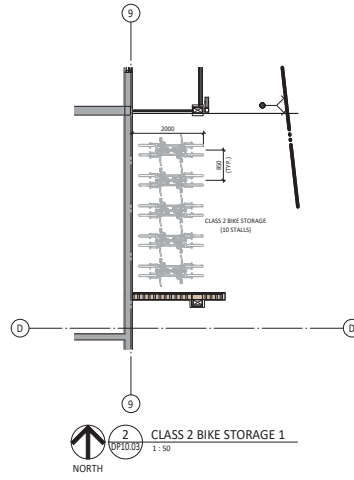
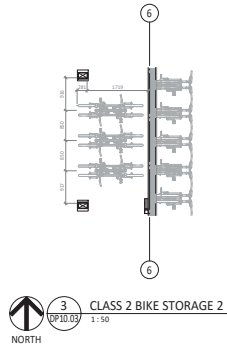
No.	Description	Date Issued
Issued For / Revisions		
Project	Project Number: 23050	
PENTICTON MULTI-RESIDENTIAL		
251 Comox Street 997 Westminister Avenue		
Legal Description	Building Permit No.	
Lot 1-6, 186 Plan 7531, Lot 1-2, 26366 Plan 7242	2025-12-01	
Development Permit No.	DISP No.	



Drawing Title
PROPOSED SITE PLAN

Drawn by: JL	Scale: 1:200
Reviewed by:	Date: 11/18/2025
Manager:	2025-12-01
Peer Review:	

Drawing Number	Drawing Package
DP10.02	
Revision Number	
A	



NOTES:

- * DIMENSION TO FACE OF STUDO INTERIOR PARTITIONS, CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
- * NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
- * VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUMS; REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
- * DO NOT SCALE DRAWINGS.
- * THIS DRAWING SUPERSEDES PREVIOUS ISSUES.

Schedule 'A'
DP PL2025-10060

TFC RESPONSE 2	2026-03-04
TFC RESPONSE 2	2025-12-13
DEVELOPMENT PERMIT	2025-09-12
No. Description	DATE (MM-DD-YY)

Issued For / Revisions

Project: PENTICTON MULTI-RESIDENTIAL
 Project Number: 23050
 251 Comox Street
 997 Westminister Avenue
 Legal Description: Building Permit No.
 Lot 1-2, 20136 Plan 7531, Development Permit No.
 Lot 1-2, 20136 Plan 7242, Development Permit No.

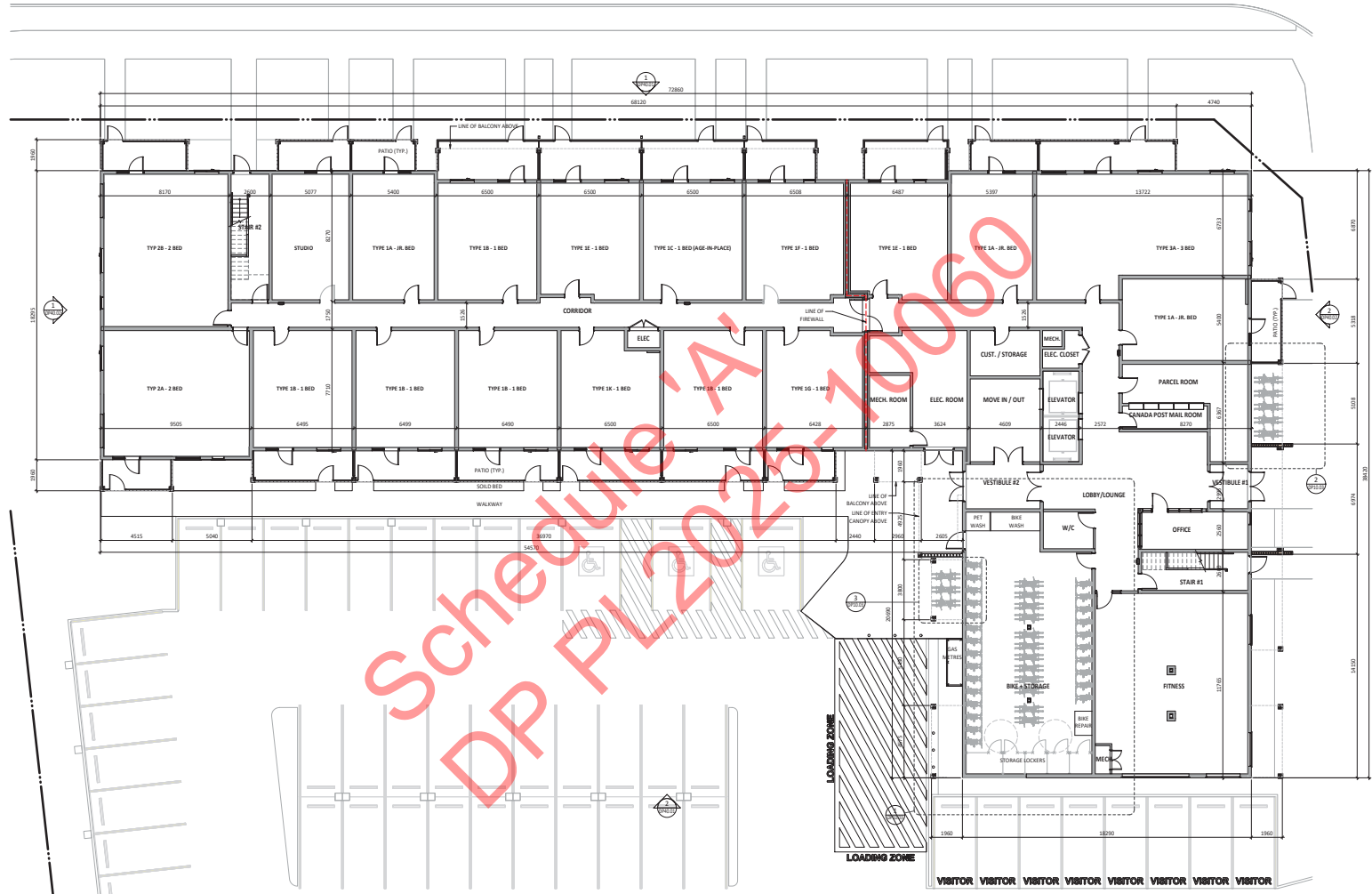


350,140-10 Ave SE
 Calgary, Alberta
 T2G 0R1
 Ph: 403.233.2000
 GGA ARCHITECTURE Fax: 403.264.2077

Drawing Title: BIKE STORAGE
 Drawn by: JL
 Reviewed by: JL
 Manager: JL
 Peer Review: JL
 Scale: 1:50
 Date (YYYY-MM-DD):
 Drawing Number: DP10.03
 Revision Number:

NOTES:

- * DIMENSION TO FACE OF STUD INTERIOR PARTITIONS, CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SCHEDULE, UNLESS NOTED OTHERWISE.
- * NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
- * VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUMS. REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
- * DO NOT SCALE DRAWINGS.
- * THIS DRAWING SUPERSEDES PREVIOUS ISSUES.



1 MAIN FLOOR PLAN
1:100

TFC RESPONSE 2	2026-02-04
TFC RESPONSE 2	2025-12-13
DEVELOPMENT PERMIT	2025-09-12
No. Description	DATE

Issued For / Revisions	
Project	Project Number: 23050
PENTICTON MULTI-RESIDENTIAL	
251 Comox Street 997 Westminister Avenue	
Legal Description	Building Permit No.
Lot 1-2, 2036 Plan 7351,	
Lot 1-2, 2036 Plan 7242	Development Permit No.
Development Permit No.	OSP No.



350,140-10 Ave SE
Calgary, Alberta
T2G 0R1
PH: 403.233.2000
GGA ARCHITECTURE PH: 403.264.2077

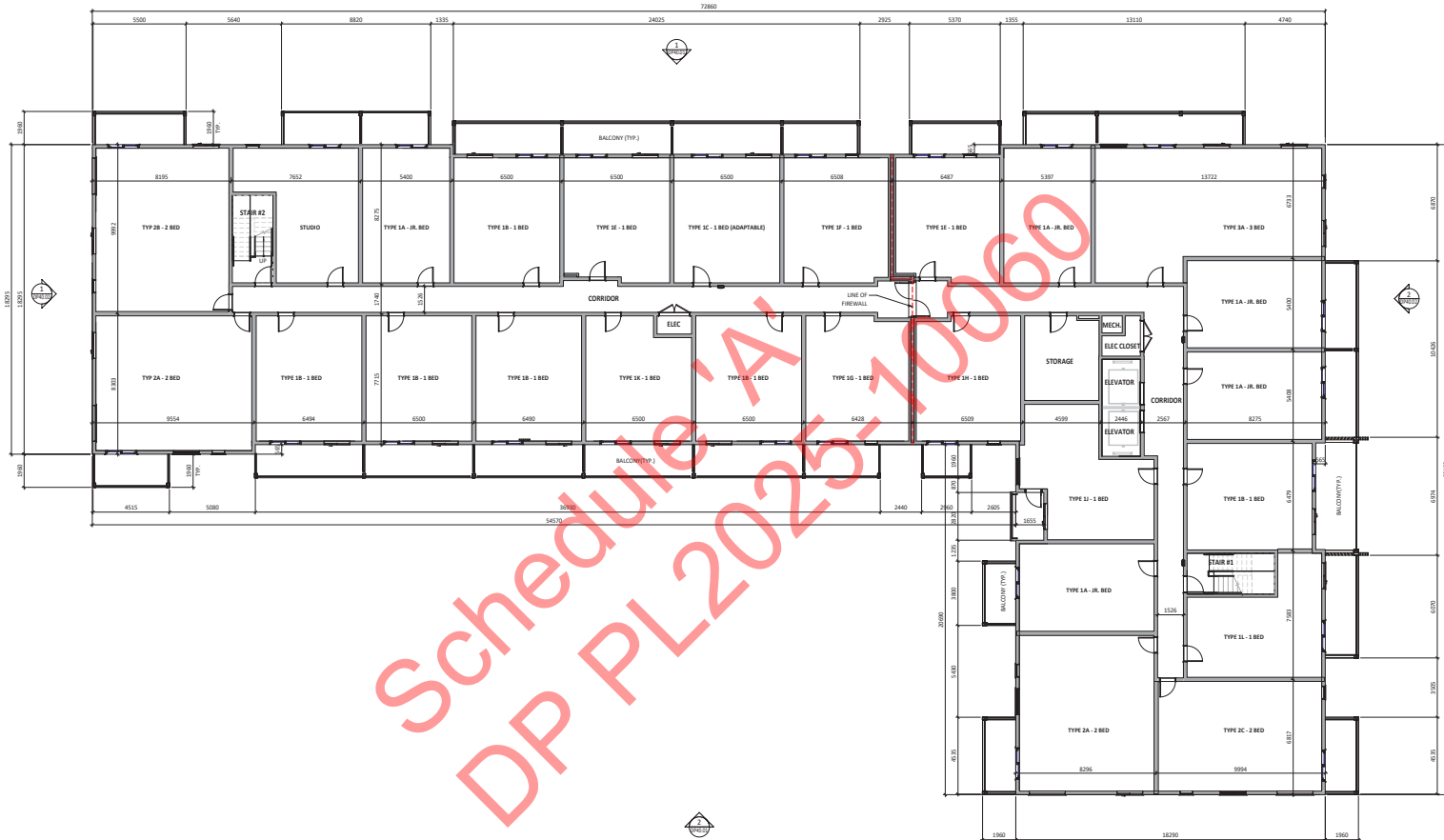
Drawing Title
MAIN FLOOR PLAN

Drawn by:	JL	Scale	1:100
Reviewed by:		Date	(YYYY-MM-DD)
Manager:			
Peer Review:			

Drawing Number
DP20.01

PRELIMINARY - NOT FOR CONSTRUCTION

NOTES:
 * DIMENSION TO FACE OF STUD INTERIOR PARTITIONS, CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
 * NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
 * VERIFY ALL DIMENSIONS, RELATIONS, AND DATUMS; REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
 * DO NOT SCALE DRAWINGS.
 * THIS DRAWING SUPERSEDES PREVIOUS ISSUES.



Schedule 'A'
 DP PL2025-10060

1
DP2025
 TYPICAL FLOOR PLAN (LEVELS 2 AND 4)
 1:100

TRC RESPONSE 2	2026-02-04
TRC RESPONSE 2	2025-12-13
DEVELOPMENT PERMIT	2025-09-12
No. Description	DATE

Issued For / Revisions

Project: 23050
PENTICTON MULTI-RESIDENTIAL
 251 Comox Street
 997 Westminister Avenue
 Legal Description: Building Permit No.
 Lot 1 - 186 Plan 7531, Building Permit No.
 Lot 2 - 2, 2036 Plan 7242 Development Permit No.

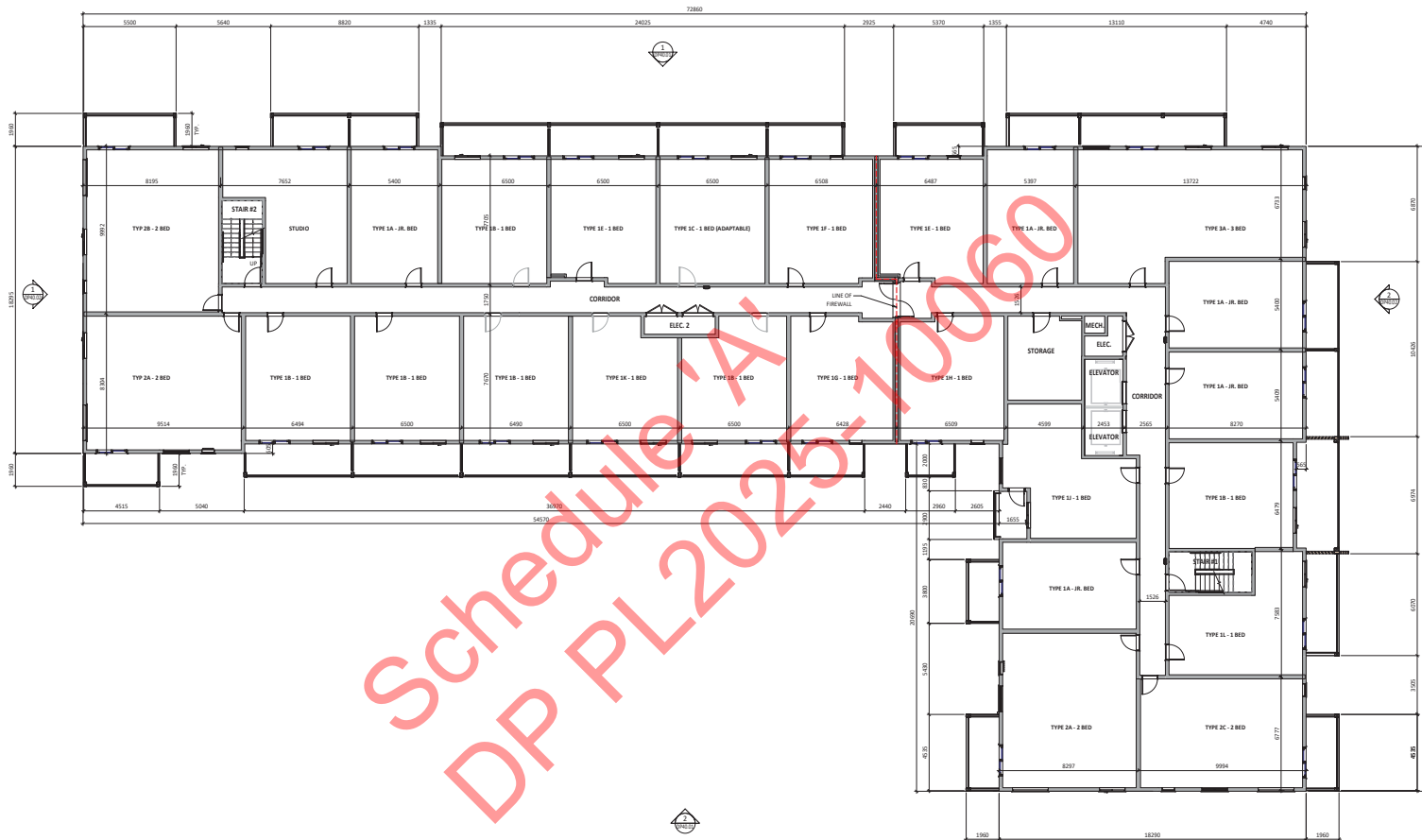
350,140-10 Ave SE
 Calgary, Alberta
GGA ARCHITECTURE Ph: 403.233.2000
 Fax: 403.264.2077

Drawing Title:
TYPICAL FLOOR PLAN (LEVELS 2 AND 4)

Drawn by: JL	Scale: 1:100
Reviewed by:	Date (YYYY-MM-DD)
Peer Review:	

Drawing Number	Drawing Package
DP20.02	Revision Number

NOTES:
 * DIMENSION TO FACE OF STUD INTERIOR PARTITIONS, CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
 * NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
 * VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUMS, REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
 * DO NOT SCALE DRAWINGS.
 * THIS DRAWING SUPERSEDES PREVIOUS ISSUES.



1 TYPICAL FLOOR PLAN (LEVELS 3 AND 5)
 1:100
 NORTH

TYP RESPONSE 2	2026-03-04
TYP RESPONSE 2	2025-12-13
DEVELOPMENT PERMIT	2025-09-12
No. Description	DATE

Issued For / Revisions

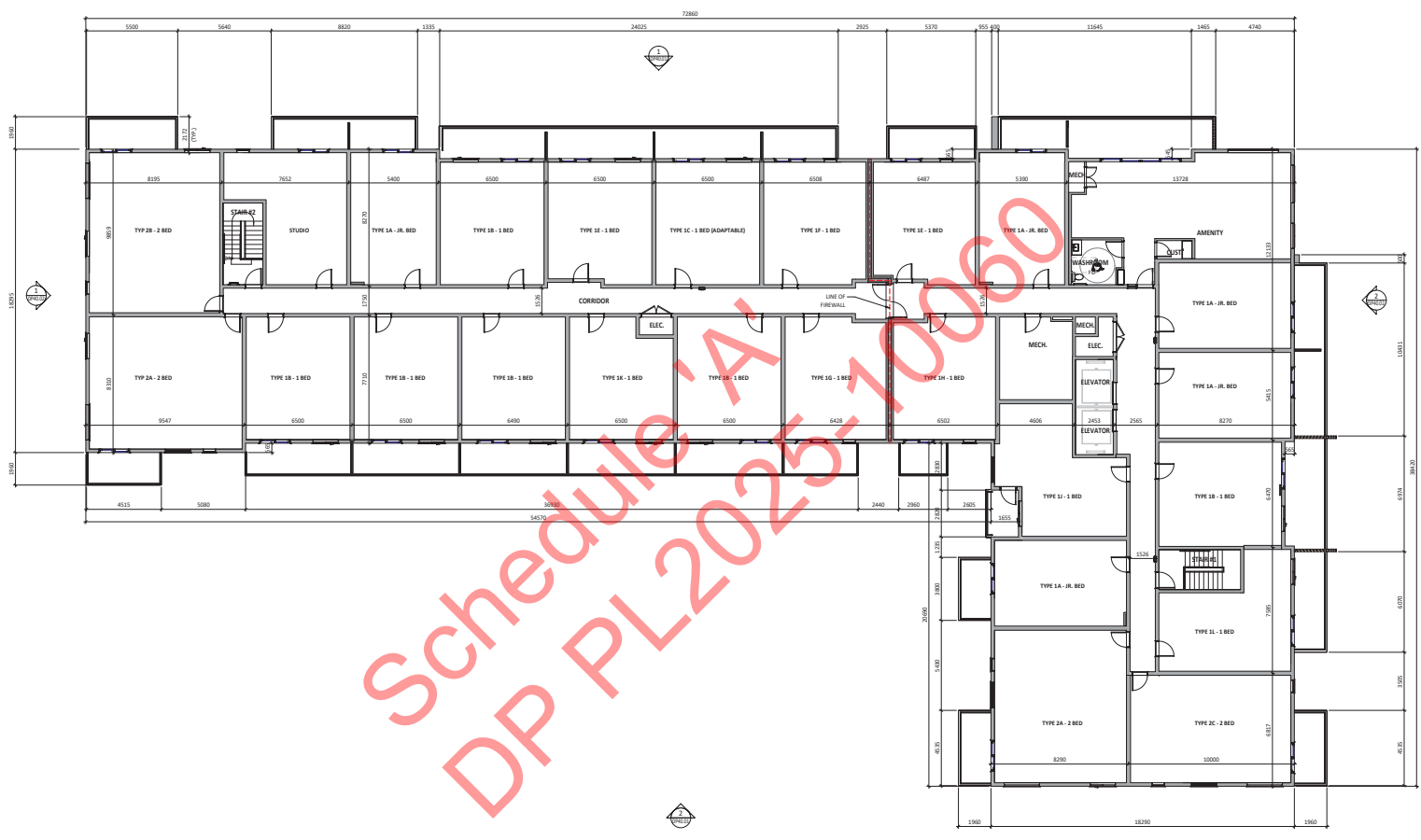
Project: 23050
PENTICTON MULTI-RESIDENTIAL
 251 Comox Street
 997 Westminister Avenue
 Legal Description: Building Permit No.
 Lot 1-2, 50136 Plan 7341, Development Permit No.
 350,140-10 Ave SE
 Calgary, Alberta
 T2G 0R1
 P: 403.233.2000
 GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title
TYPICAL FLOOR PLAN (LEVELS 3 AND 5)

Drawn by: JL	Scale: 1:100
Reviewed by:	Date: (YYYY-MM-DD)
Peer Review:	

Drawing Number: **DP20.03**
 Drawing Package: Section Number

NOTES:
 * DIMENSION TO FACE OF STUD INTERIOR PARTITIONS, CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
 * NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
 * VERIFY ALL DIMENSIONS, RELATIONSHIPS AND DATUMS, REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
 * DO NOT SCALE DRAWINGS.
 * THIS DRAWING SUPERSEDES PREVIOUS ISSUES.



Schedule 'A'
 DP PL2025-10060

1
 6TH FLOOR PLAN
 1:100

TFC RESPONSE 2	2026-03-04
TFC RESPONSE 2	2025-12-13
DEVELOPMENT PERMIT	2025-09-12
No. Description	DATE

Issued For / Revisions

Project: 23050
PENTICTON MULTI-RESIDENTIAL
 251 Comox Street
 997 Westminister Avenue
 Legal Description: Building Permit No.
 Lot 1-2, 20136 Plan 7331, Building Permit No.
 Lot 1-2, 20136 Plan 7242, Development Permit No. DSP No.

350,140-10 Ave SE
 Calgary, Alberta
 T2G 0R1
GGA ARCHITECTURE Ph: 403.233.2000
 Fax: 403.264.2077

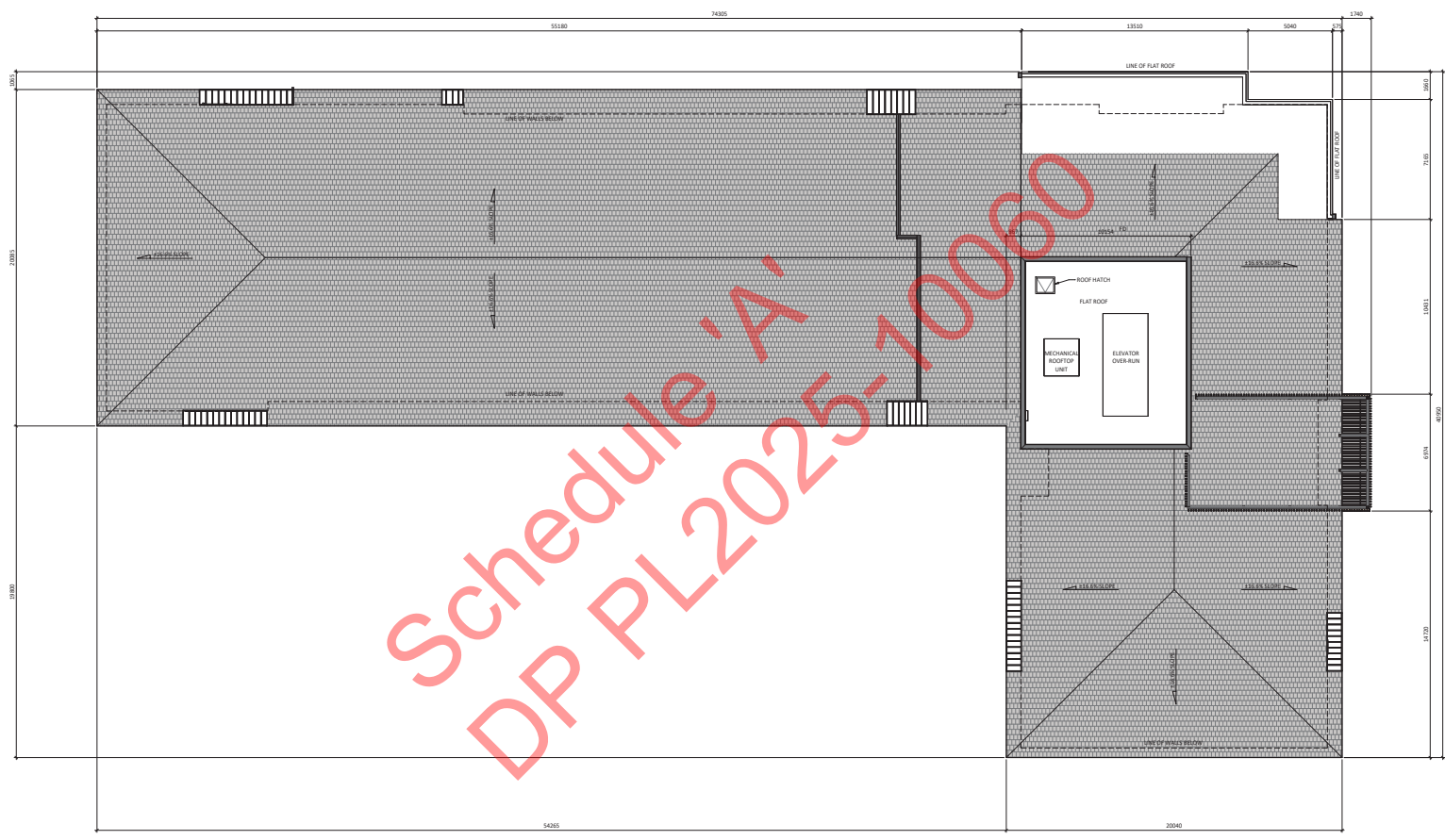
Drawing Title
SIXTH FLOOR PLAN

Drawn by: JL	Scale: 1:100
Reviewed by:	Date: (YYYY-MM-DD)
Manager:	
Peer Review:	

Drawing Number: **DP20.04**
 Revision Number:

PRELIMINARY - NOT FOR CONSTRUCTION

NOTES:
 * DIMENSION TO FACE OF STUD (INTERIOR PARTITIONS), CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
 * NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
 * VERIFY ALL DIMENSIONS, RELATIONS, AND DATUMS. REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
 * DO NOT SCALE DRAWINGS.
 * THIS DRAWING SUPERSEDES PREVIOUS ISSUES.



1 ROOF PLAN
 VP20.10 1:100
 NORTH

No.	Description	Date
TFC RESPONSE 2		2026-02-04
TFC RESPONSE 2		2025-12-13
DEVELOPMENT PERMIT		2025-09-12

Issued For / Revisions

Project: 23050
 Project Number: 23050
PENTICTON MULTI-RESIDENTIAL
 251 Comox Street
 997 Westminister Avenue
 Legal Description:
 Lot 10, 106 Plan 7531,
 Lot 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

GGA ARCHITECTURE
 350, 140-10 Ave SE
 Calgary, Alberta
 T2G 0R1
 Ph: 403.233.2000
 Fax: 403.264.2077

Drawn by:	AL	Scale:	1:100
Reviewed by:		Date:	17/11/2025
Peer Review:			

Drawing Number:	DP20.10	Drawing Package:	
Revision Number:			

PRELIMINARY - NOT FOR CONSTRUCTION

NOTES:
 • PRIVACY SCREENS, PORCH GATE DOORS, AND GUARDRAILS ARE HIDDEN FOR CLARITY

NOTES:
 • DIMENSION TO FACE OF STUDY INTERIOR PARTITIONS, CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
 • NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
 • VERIFY ALL DIMENSIONS, RELATIONSHIPS, AND DATUMS. REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
 • DO NOT SCALE DRAWINGS.
 • THIS DRAWING SUPERSEDES PREVIOUS ISSUES.

EXTERIOR FINISH MATERIAL LEGEND

- CP-1 CEMENTITIOUS PANEL (WHITE) BOARD AND BATTEN
- CP-2 CEMENTITIOUS PANEL (DARK GREY) BOARD AND BATTEN
- CP-3 PREFINISHED METAL PLANK (WOODGRAIN)
- MT-1 PREFINISHED METAL BATTEN / SLAT (WOODGRAIN)
- MT-2 PREFINISHED METAL PURLIN (DARK GREY)
- AL-1 ALUMINUM DOOR/WINDOW FRAME (BLACK)
- AL-2 ALUMINUM RAILING (COLOUR VARIES)
- GL-1 GLAZING PANEL
- AS-1 ASPHALT SHINGLES (DARK GREY)
- DR-1 HOLLOW METAL DOOR
- GL-2 GLASS



1 NORTH ELEVATION
 1 : 100



2 SOUTH ELEVATION
 1 : 100

Schedule 'A'
 DP PL 2025-10060

TFC RESPONSE 2 2026-02-04
 TFC RESPONSE 2 2025-12-13
 DEVELOPMENT PERMIT 2025-09-12

Issued For / Revisions

No.	Description	Date
1	Project	23050
2	Project Number	23050
3	Project	23050

PENTICTON MULTI-RESIDENTIAL

251 Comox Street
 997 Westminister Avenue

Legal Description: Building Permit No.
 Lot 1-2, 251 Comox Street, 7542
 Development Permit No. (DSP No.)

350, 140-10 Ave SE
 Calgary, Alberta
GGA ARCHITECTURE Ph: 403.233.2000
 Fax: 403.264.2077

EXTERIOR ELEVATIONS

Drawn by:	AL	Scale:	As Indicated
Reviewed by:		Date:	(YYYY-MM-DD)
Peer Review:			
Drawing Number:	DP04.01	Revision Number:	

PRELIMINARY - NOT FOR CONSTRUCTION

NOTES:
 • PRIVACY SCREENS, PORCH GATE DOORS, AND GUARDRAILS ARE HIDDEN FOR CLARITY



NOTES:
 • DIMENSION TO FACE OF STUD INTERIOR PARTITIONS, CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
 • NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
 • VERIFY ALL DIMENSIONS, RELATIONS, AND DATUMS; REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
 • DO NOT SCALE DRAWINGS.
 • THIS DRAWING SUPERSEDES PREVIOUS ISSUES.

EXTERIOR FINISH MATERIAL LEGEND

- CP-1 CEMENTITIOUS PANEL (WHITE) BOARD AND BATTEN
- CP-2 CEMENTITIOUS PANEL (DARK GREY) BOARD AND BATTEN
- CP-3 PREFINISHED METAL PLANK (WOODGRAIN)
- MT-1 PREFINISHED METAL BATTEN / SLAT (WOODGRAIN)
- MT-2 PREFINISHED METAL PURLIN (DARK GREY)
- AL-1 ALUMINUM DOOR/WINDOW FRAME (BLACK)
- AL-2 ALUMINUM RAILING (COLOUR VARIES)
- GL-1 GLAZING PANEL
- AS-1 ASPHALT SHINGLES (DARK GREY)
- DR-1 HOLLOW METAL DOOR
- GL-1 GLASS

TFC RESPONSE 2 2026-02-04
 TFC RESPONSE 2 2025-12-13
 DEVELOPMENT PERMIT 2025-09-12

No. Description
 Issued For / Revisions

Project Project Number: 23050
PENTICTON MULTI-RESIDENTIAL
 251 Comox Street
 997 Westminister Avenue
 Legal Description: Building Permit No.
 Lot 1-2, 186 Plan 7531,
 Lot 1-2, 20336 Plan 7242
 Development Permit No. DSP No.

350,140-10 Ave SE
 Calgary, Alberta
 T2G 0R1
GGA ARCHITECTURE Ph: 403.233.2000
 Fax: 403.264.2077

Drawing Title
EXTERIOR ELEVATIONS

Drawn by: JL Scale: As Indicated
 Reviewed by: Manager Date: (YYYY-MM-DD)
 Peer Review:

Drawing Number: DP04.02
 Drawing Package: Exterior Elevations
 Revision Number:

PRELIMINARY - NOT FOR CONSTRUCTION



GENERAL NOTES

- CONSTRUCTION SHALL ONLY PROCEED WITH APPROVAL ISSUED FOR CONSTRUCTION DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THEY ARE IN POSSESSION OF THE MOST RECENT SET OF DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT FROM DIGITAL INFORMATION, INCLUDING FROM DIGITAL FILES IF NOT GUARANTEED. LAYOUT TO CONFORM TO DIMENSIONS AND OFFSETS AS SHOWN ON THE CONTRACT DRAWINGS. CONTRACTOR TO CONFIRM THE ACCURACY OF THE LAYOUT PRIOR TO CONSTRUCTION. CONTRACTOR TO CORRECT ALL INVERT ELEVATIONS ON SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS FOR CONSTRUCTION AND ARRANGING FOR DISPOSAL OF GROUND WATER AS REQUIRED.
- THE CONTRACTOR SHALL COORDINATE ALL TESTING REQUIRED WITH THE TESTING FIRM SPECIFIED BY THE OWNER.
- INITIAL TESTING DOES NOT BE BORNE BY THE DEVELOPER WITH THE COST OF RETESTS OF FAILED TESTS BORNE BY THE CONTRACTOR.
- THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS, UNDERGROUND, STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL REFORM HUBBLE OF THE EXACT LOCATION OF SUCH UTILITIES AND STRUCTURES, AND SHALL ASSURE ALL VARIATION FOR DAMAGE TO THEM.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING AROUND LEGAL PINS THROUGHOUT THE PROJECT. THE CONTRACTOR IS LIABLE TO INCREASE OR DECREASE ANY PIN BECAUSE OF PHYSICAL CONSTRAINTS OF THE SITE. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CUTTING THE SURVEY PINS AND SURVEY PROCEDURES WITHOUT NOTIFYING THE ENGINEER, SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY.
- ALL HYDRO AND COMMUNICATION INSTALLATION TO CONFORM TO INDIVIDUAL UTILITY COMPANY STANDARDS & CITY OF PENTICTON STANDARDS.
- SEE UTILITY COMPANY DRAWINGS FOR DETAILED INSTALLATION PLANS. PRIOR TO STARTING, SHALLOW UTILITY CONTRACTOR THE CONTRACTOR MUST CONTACT THE INDIVIDUAL UTILITY COMPANIES (BC HYDRO, FORTIS BC, TELUS & SHAW-CABLE) TO ENSURE THEY ARE IN POSSESSION OF THE LATEST, RECENT DRAWINGS AND APPROVE ANY CHANGES FOR RECONSTRUCTION. THE CHANGES TO THE FIELD MUST BE APPROVED BY THE UTILITY COMPANIES AND RECORDED BY THE CONTRACTOR FOR AS BUILT INFORMATION.
- THE CONTRACTOR SHALL BE APPROVED BY THE CITY OF PENTICTON AND MUST OBTAIN NOTI RIGHT OF WAY GRANT PERMIT FOR WORK ON HIGHWAY ROW PRIOR TO CONSTRUCTION.
- ALL WATER LINES SHALL BE TESTED & CHLORINATED BEFORE BEING TIED TO PUBLIC MAINS TO CITY OF PENTICTON STANDARDS.
- BEDDING MATERIAL AND PIPES COVER ON ALL PIPES TO BE CLEAN SAND OR 3/4" CRUSHED GRAVEL. AFTER CITY SUPPLEMENTAL SPECIFICATIONS LINES OTHERWISE TESTED.
- BEDDING MATERIAL TO BE HAND TAMPED AROUND PIPES AND MACHINE TAMPED TO 80% M.P.D. FROM 300mm ABOVE PIPE TO SURFACE.
- INSPECTION PORTS ARE REQUIRED ON ALL SANITARY SEWER SERVICES.
- SANITARY SEWER AND STORM SEWER MAINS ARE TO BE VISIBLE INSPECTED TO CITY OF PENTICTON STANDARDS. A COPY OF THE VIDEOS SHALL BE PROVIDED TO ENGINEER.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLES HYDRANTS, SERVICE BOXES ETC. TO MATCH FINISH GRADES.
- EXISTING EDGE OF PAVEMENT ELEVATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION TO ENSURE CROSSFALL OF BETWEEN 1% - 2%.
- THE CONTRACTOR'S SURVEYOR SHALL PROVIDE ELEVATIONS OF TOP OF ASPHALT AT THE EDGE OF THE SURVEY PRIOR TO POILING CURBS AND GUTTERS IN ORDER THAT CURB DESIGN GRADIENTS MAY BE CHECKED BY THE ENGINEER.
- ALL CATCH BASIN GRATE LEVATIONS TO BE SET A MIN. OF 20mm BELOW DESIGN GRATE ELEVATION. FILTER FABRIC IN CURBS SHALL BE LIFT APPLIED.
- WHERE PAVEMENT IS LIFT LOW FOR UTILITIES, OVERLAY CATCH BASIN GRATES TO BE SET 40mm BELOW DESIGN GRATE ELEVATIONS.
- ALL SERVICE CONNECTIONS TO HAVE 200mm MARKERS AT INVERTS OF PIPES TO ABOVE GROUND SURFACE WITH MARKERS TO SHOW DEPTH TO INVERT AND TYPE OF UTILITY.
- SANITARY SEWER SERVICES TO BE INSTALLED AT 2% GRADE UNLESS OTHERWISE NOTED. ROOF TYP NOT APPROVED UNLESS OTHERWISE NOTED.
- ALL WORK TO CONFORM TO THE LATEST EDITION OF M.V.C.D. CITY OF PENTICTON SUBDIVISION AND DEVELOPMENT BYLAWS (SDBL) AS AMENDED, ZONING BYLAW AS AMENDED, CITY OF PENTICTON ELECTRICAL BYLAWS AND APPLICABLE PLUMBING CODE UNLESS OTHERWISE NOTED ON DRAWING.
- CONTRACTOR TO COMPLETE THE AS-BUILTS AND DISCONNECTIONS OF EXISTING SERVICES FOR WATER, SANITARY AND DRAINAGE ONLY AFTER APPROVED APPROVALS ARE OBTAINED AND IN THE PRESENCE OF THE CONSULTANT'S REPRESENTATIVE AND UNDER SUPERVISION OF CITY OF PENTICTON PERSONNEL AT THE DEVELOPER'S EXPENSE.
- ALL NEW MANHOLES AND DRAINAGE DRIVELLS TO COME WITH FRAME AND COVER MEETING MANCO STANDARDS. CONCRETE TOP TO HAVE TYPED OPENING STEEL FRAME TO HAVE 100mm OPENING ALL EXISTING MANHOLES AND DRAINAGE DRIVELLS ENCOUNTERED DURING THE COURSE OF CONSTRUCTION TO HAVE THE CONCRETE TOP AND THE STEEL FRAME & COVER UPGRADED TO THAT STANDARD.
- ALL MANHOLE FRAMES AND COVERS INSTALLED IN HARD SURFACE APPLICATIONS TO BE ADJUSTABLE (FERNALC CITY C224 OR EQUIVALENT).
- CONTRACTOR TO FOLLOW ALL RECOMMENDATIONS OF PIPE MANUFACTURERS RECOMMENDED DEFLECTIONS AND SIZING OF PRESSURE PIPE. WHEN REQUIREMENT OF DEFLECTION OF RIGID RECESSED MANHOLES AND CITY SPECIFICATIONS CONTRACTOR TO UTILIZE 8" BENDS MIN RADIUS OF CURVATURE IS EQUAL TO 175mm FOR ALL PIPES UP TO AND INCLUDING 200mm WATERMAIN. ANY BENDS & TIES INSTALLED ON WATERMANS TO BE AS BUILT SURVEYED WITH LOCATION AND ELEVATION BY CONTRACTOR.



SCHEDULED FOR CONSTRUCTION

COMPOSITE UTILITY PLAN
Scale: 1:250

PRELIMINARY - NOT FOR CONSTRUCTION

		APPROVED FOR CONSTRUCTION		DATE
E	2024/01/30	PG	TENDER PACKAGE #1	
D	2024/12/23	PG	ISSUED FOR REVIEW	
C	2024/12/12	NS	ISSUED FOR TRC RESPONSE 1	
B	2024/12/01	PG	ISSUED FOR 20% REVIEW	
A	2024/01/11	ND	ISSUED FOR DEVELOPMENT PERMIT	
NO.	DATE (YY/MM/DD)	DRN	REVISION	CHVD

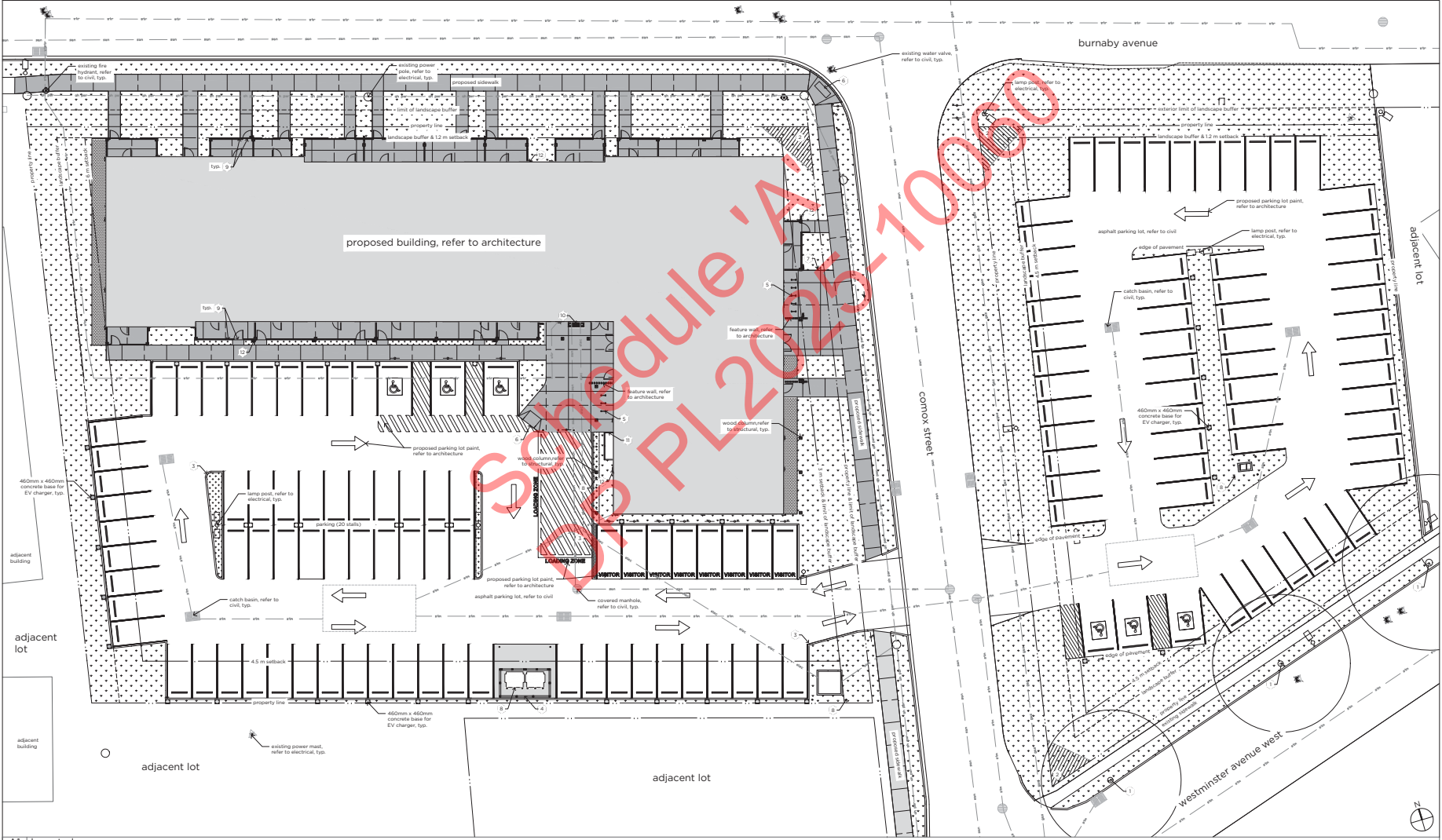


DESIGN: KD
DRAWN: KD
CHECKED: MDY
DATE: SEP. 11, 2025
SCALE: 1:250

CITY OF PENTICTON
MULTI-FAMILY DEVELOPMENT
WEXFORD DEVELOPMENTS
COMPOSITE UTILITY PLAN

Drawing No.	Rev.No
2400809-C1.0	E

linetype legend		surface material legend		annotation legend	
linetype	description	texture	description	number	description
---	property line	[Pattern]	seed mix, refer to L3.01, A3 / B1	1	existing city tree to remain, requires tree protection fencing
---	landscape buffer line	[Pattern]	75 mm bank mulch, refer to L3.02, A1 / A2	2	visibility triangle - no planting zone
---	setback line	[Pattern]	125 mm depth broom finish concrete with saw cut and expansion joints, refer to L3.01, A1 / A2 / A3 / B2	3	curb and gutter - refer to civil
---	water line	[Pattern]	10 mm Ø, 75 mm depth rundestone fines, refer to L3.01, B1	4	waste disposal area fence enclosure, refer to L3.02, C1 / C2 / C3
---	sewer line	[Pattern]		5	bike rack, refer to B1, L3.02
---	drainage line	[Pattern]		6	curb cut, refer to civil
---	electrical line	[Pattern]		7	siamese connection, refer to architecture
---	overhead line	[Pattern]		8	bollard, refer to architecture
---	gas line	[Pattern]		9	metal railing and gate, refer to A1/A2, L3.02
---				10	bench, refer to A3, L3.02
---				11	mechanical enclosure, refer to B2, L3.02
---				12	downspout, refer to architecture



- Notes:**
- * Direction to face of gypsum (interior partitions), concrete, concrete block, exterior wall sheathing unless noted otherwise.
 - * Note when required minimum clear dimensions will be identified.
 - * Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
 - * Do not date drawings.
 - * This drawing supersedes previous issues.
 - * Do not use alphabetic revision iterations for pricing.

- general notes**
- The plan prepared using information provided by GGA-Architecture received (25.09.22).
 - Contractor is responsible for locating utilities and protecting same from damage during construction.
 - All drawings are property of landscape architect; site clean-up is incidental to the work. The contractor shall report any discrepancies between the site conditions and the drawings to the architect prior to construction to the owner's representative.
 - If discrepancies exist between drawings, the largest scale shall be taken as correct. Final interpretation belongs to the landscape architect.
 - Contractor to coordinate and attend all construction and approvals required by the contractor and approvals required by the owner.
 - All drawings are metric unless otherwise noted.
 - All layout shall be approved on site by landscape architect prior to construction; contractor to notify owner's representative immediately if any changes are required.
 - Contractor shall refer to related disciplines as indicated on plans where applicable.
 - All soft landscape areas are to be staked to ensure positive drainage away from structures, etc.
 - All grades provided all to finished grade, top of finished surface.
 - Disturbance outside limit of construction line to be required by the satisfaction of the owner's representative.
 - Site does not contain any retaining structures or fillings outside of the waste disposal enclosure.
 - All trees planted outside of two meter buffer from utility lines.

- irrigation notes**
- All landscaping to be removed with underground automatic irrigation system extending to boulevard area.

PRELIMINARY - NOT FOR CONSTRUCTION

groundcubed

5	Issued for tender package #1	26.01.30
4	Issued for review	25.02.23
3	Issued for 30% review	25.02.01
2	Issued for 2D parking review	25.01.31
1	Issued for development permit	25.09.12

Issued For / Revisions

Project: Project Number: 23050

penticton multi-family

907 and 903 Westminister Ave W
 Penticton, BC
 Legal Description: Building Permit No:
 Development Permit No: 055P No.

350,140-10 Ave SE
 Calgary, Alberta
 T2G 0R1
 Ph: 403.233.2000
 GGA-ARCHITECTURE Fax: 403.364.3077

Drawing Title: layout plan

Drawn by:	FV	Scale:	1:150
Reviewed by:	SM		
Manager:		Date:	2025-09-01
Per. Review:			25.02.19

Drawing Number: L1.01

A1 layout plan
 Scale: 1:150

linetype legend

---	property line
---	landscaping buffer line
---	setback line
---	water line
---	sewer line
---	drainage line
---	electrical line
---	overhead line
---	gas line

Symbol	Botanical / Common Name	DBH	Height	Spread	Light	Notes
1	Rainier spire	3	20m	9m	25mm	
2	Black ash					
3	Acru	12	7m	2.2m	25mm	
4	Acru	17	15m	4.5m	25mm	
5	Acru	4	20m	5m	25mm	

Symbol	Botanical / Common Name	DBH	Height	Spread	Light	Notes
6	Acru	3	3m	3m	#5	Shrub
7	Acru	2	3m	3m	#5	Shrub
8	Acru	76	1.5m	1.5m	#5	Shrub
9	Acru	42	1.0m	0.8m	#5	Shrub
10	Acru	200	0.8	0.8m	#5	Shrub
11	Acru	17	0.5	1.0m	#5	Shrub
12	Acru	2	1.5m	3.0m	#5	Shrub

Symbol	Botanical / Common Name	DBH	Height	Spread	Light	Notes
13	Acru	89	0.8m	0.8m	#2	Shrub
14	Acru	12	0.8m	0.8m	#2	Shrub
15	Acru	65	1.0m	0.5m	#2	Shrub
16	Acru	8	0.5m	0.2m	#2	Shrub

existing trees legend

existing trees to remain - site (3 total)

requires tree protection fencing

boulevard tree legend

city to source and plant trees - client to provide funding per bylaw

Symbol	Botanical / Common Name	DBH	Height	Spread	Light	Notes
17	Acru	5	20m	8m	25mm	
18	Acru	5	15m	3m	25mm	

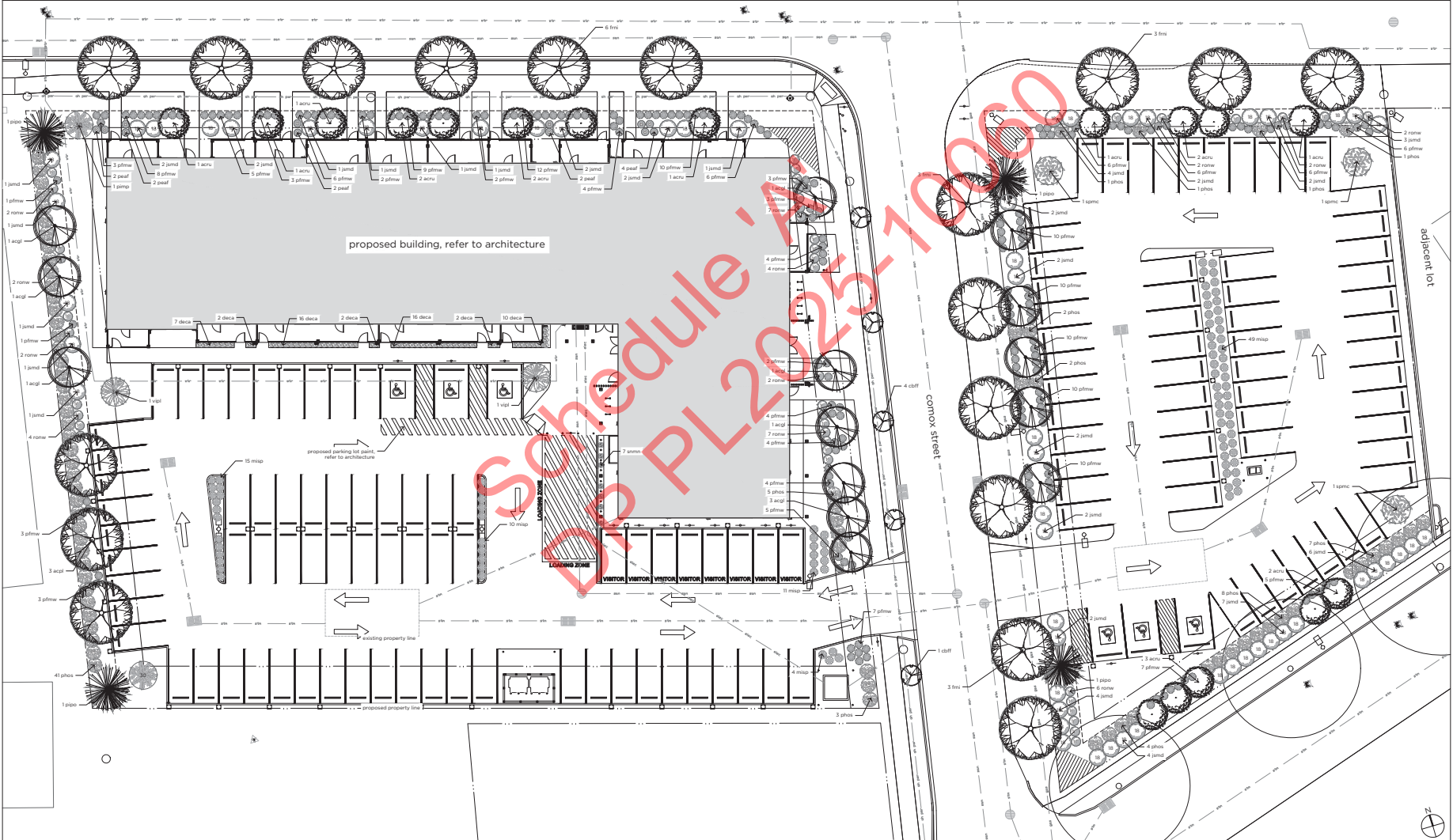
Notes:

- * Dimensions to face of gypsum (interior partitions), concrete, concrete block, exterior wall sheathing unless noted otherwise.
- * Note when required minimum clear dimensions will be identified.
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- general notes**
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irrigation notes

- All landscaping to be serviced with underground automatic irrigation system extending to boulevard area.



PRELIMINARY - NOT FOR CONSTRUCTION



5	Issued for tender package #1	26.01.20
4	Issued for review	25.02.23
3	Issued for 30% review	25.02.07
2	Issued for 2D pricing review	25.01.31
1	Issued for development permit	25.09.12
No.	Description	25.09.12

Issued For / Revisions

Project: penticton multi-family
 Project Number: 22050
 997 and 1013 Westminster Ave W
 Penticton, BC
 Building Permit No.:
 Development Permit No.: 05SP No.
 350,140-10 Ave SE
 Calgary, Alberta
 T2G 0R2
 Ph: 403.233.2000
 Fax: 403.364.3077

planting plan

Drawn by: FV Scale: 1:150
 Revised by: SM
 Manager: Date: 25.09.12
 Peer Review: Date: 25.09.12
 Drawing Number: L1.03
 Revision Number:

A1 planting plan
 1:150